

GENERAL NOTES

- 1.0 **GENERAL**
- 1.01 THE PROVISIONS OF THE AMERICAN INSTITUTE OF ARCHITECTS (AIA) DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" SHALL BE A PART OF THESE CONTRACT DOCUMENTS EXCEPT AS SPECIFICALLY AGREED TO IN WRITING BY ALL PARTIES.
- 1.02 REFERENCES IN THESE NOTES TO APPLICABLE CODES SHALL INCLUDE COMPREHENSIVELY THE LATEST EDITION OF ALL FEDERAL, REGIONAL, STATE, CITY, FIRE DEPARTMENT AND LOCAL CODES, LAWS, ORDINANCES, ORDERS, RULES, AND GUIDELINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARITY WITH THE APPLICABLE CODES AND COMPLY FULLY AS REQUIRED.
- 1.03 REFERENCES IN THESE NOTES TO THE CONTRACTOR SHALL APPLY TO THE CONTRACTOR, THEIR AGENTS, ALL SUB CONTRACTORS AND ALL OTHERS EMPLOYED BY THE CONTRACTOR FOR THE PURPOSE OF THE EXECUTION OF THE WORK.
- 1.04 REFERENCES IN THESE NOTES TO THE BUILDING OWNER OR ARCHITECT SHALL INCLUDE ALL AUTHORIZED AGENTS OR REPRESENTATIVES OF THESE PARTIES.
- 1.05 REFERENCES IN THESE NOTES TO THE WORK SHALL INCLUDE ALL ELEMENTS AND COMPONENTS OF THE CONTRACT DOCUMENTS, DRAWINGS, AND SPECIFICATIONS WHETHER OR NOT SPECIFICALLY IDENTIFIED.
- 2.0 **CODES**
- 2.01 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LABOR CODES. DISCRIMINATION IN ANY FORM WILL NOT BE PERMITTED OR TOLERATED.
- 2.02 THIS PROJECT SHALL COMPLY WITH THE 2021 I.B.C. - NJ ED, NJ ADMINISTRATIVE CODE, NJ BARRIER-FREE SUBCODE, NJ UNIFORM CONSTRUCTION CODE, 2021 INTERNATIONAL MECHANICAL CODE, 2021 NATIONAL STANDARD PLUMBING CODE, 2020 NATIONAL ELECTRICAL CODE (NFPA 70), 2019 ASHRAE 90.1 (COMMERCIAL), 2021 INTERNATIONAL FUEL GAS CODE.
- 2.03 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND CONSTRUCTION SAFETY CODES.
- 2.04 THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING LIFE SAFETY PROVISIONS DURING THE COURSE OF CONSTRUCTION IN COMPLIANCE WITH APPLICABLE CODES, AND TO THE SATISFACTION OF THE BUILDING OWNER, INCLUDING BUT NOT LIMITED TO EXISTING EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, FIRE AND SECURITY ALARMS, RATED ENCLOSURES, AND OTHER PERTINENT PROVISIONS.
- 2.05 THE OWNER OR ARCHITECT DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH APPLICABLE CODES.
- 2.06 WHERE DISCREPANCIES OR CONFLICTS OCCUR BETWEEN APPLICABLE CODES AND/OR THE CONTRACT DOCUMENTS, THE MORE STRINGENT REQUIREMENTS SHALL APPLY UNLESS AGREED TO IN WRITING BY THE GOVERNING JURISDICTION.
- 2.07 ALL UTILITY CONDUCTORS INCLUDING ELECTRICAL SERVICE, TELEPHONE SERVICE, AND CABLE TELEVISION MUST BE PLACED UNDERGROUND FROM THEIR POINT OF ORIGIN AT THE SCE TRANSFORMER OR UTILITY YARD BOX TO THE SERVICE METER OR TERMINATION POINT AT THE STRUCTURE.
- 3.0 **LICENSING**
- 3.01 THE CONTRACTOR SHALL OBTAIN AND MAINTAIN IN FORCE A VALID LICENSE APPROPRIATE FOR THE WORK PERFORMED UNDER THIS CONTRACT AS REQUIRED. COPIES OF THESE LICENSES SHALL BE MADE AVAILABLE TO THE OWNER OR ARCHITECT UPON REQUEST.
- 3.02 ALL CONTRACTORS, ARCHITECTS, DESIGNERS, & ENGINEERS SHALL MAINTAIN A CURRENT CITY BUSINESS LICENSE.
- 4.0 **INSURANCE**
- 4.01 CONTRACTOR SHALL OBTAIN AND MAINTAIN IN FORCE WORKMEN'S COMPENSATION INSURANCE AS REQUIRED BY THE APPLICABLE CODES. COPIES OF CERTIFICATES OF INSURANCE SHALL BE MADE AVAILABLE TO THE OWNER OR ARCHITECT UPON REQUEST.
- 4.02 CONTRACTOR SHALL OBTAIN AND MAINTAIN IN FORCE LIABILITY INSURANCE AS REQUIRED BY THE CONTRACT FOR CONSTRUCTION. THE LIMITS AND AMOUNTS OF INSURANCE COVERAGE SHALL BE AGREED TO IN WRITING PRIOR TO THE AWARD OF A CONTRACT FOR CONSTRUCTION. COPIES OF CERTIFICATES OF INSURANCE SHALL BE MADE AVAILABLE TO THE OWNER OR ARCHITECT UPON REQUEST.
- 5.0 **BUILDING OWNER**
- 5.01 THE CONTRACTOR SHALL CONTACT THE BUILDING OWNER TO DETERMINE ALL RULES GOVERNING THE EXECUTION OF THE WORK AT THE SITE OR WITHIN THE BUILDING AND SHALL FULLY COMPLY WITH SUCH RULES TO THE SATISFACTION OF THE BUILDING OWNER THROUGHOUT THE COURSE OF CONSTRUCTION.
- 5.02 ALL LIMITATIONS ON THE EXECUTION AND COMPLETION OF THE WORK SHALL BE IDENTIFIED PRIOR TO THE SUBMITTAL OF CONSTRUCTION BIDS AND SHALL BE CONSIDERED AND INCLUDED IN THE COST OF THE WORK.
- 5.03 USE OF BUILDING FACILITIES FOR DELIVERY, LOADING, STORAGE, TRANSPORT AND PLACEMENT OF MATERIALS AND EQUIPMENT NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SCHEDULED AND APPROVED AS REQUIRED BY THE BUILDING OWNER.
- 5.04 UNDER NO CIRCUMSTANCES WILL ADDITIONAL COMPENSATION BE ALLOWED FOR THE EXECUTION AND COMPLETION OF THE WORK SOLELY AS A RESULT OF THE OWNER'S REQUIREMENTS.
- 5.05 ALL PROJECT CORRESPONDENCE ORIGINATING FROM THE CONTRACTOR TO THE BUILDING OWNER OR ARCHITECT SHALL BE COPIED TO THE OTHER PARTY.
- 6.0 **PROJECT SITE**
- 6.01 THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR THE COORDINATION OF THE WORK WITH ALL CONDITIONS AND DIMENSIONS OF THE PROJECT SITE AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION OF THE PLANS PRIOR TO THE SUBMITTAL OF CONSTRUCTION BIDS FOR THE WORK.
- 6.02 UNDER NO CIRCUMSTANCES WILL ADDITIONAL COMPENSATION BE ALLOWED FOR THE EXECUTION OF THE WORK SOLELY AS A RESULT OF THE EXISTING CONDITIONS.
- 6.03 SUBMITTAL OF CONSTRUCTION BIDS SHALL BE DEEMED AS EVIDENCE THAT THE CONTRACTOR HAS REVIEWED THE EXISTING CONDITIONS AND HAS INCLUDED COSTS FOR THE INHERENT CONDITIONS AND/OR DIFFICULTIES WHICH AFFECT THE EXECUTION AND COMPLETION OF THE WORK.
- 6.04 THE CONTRACTOR SHALL FURNISH AND PAY THE COST OF ALL TEMPORARY SERVICES COMPLETELY AS REQUIRED FOR THE EXECUTION AND COMPLETION OF THE WORK. UPON COMPLETION OF THE WORK, SUCH TEMPORARY FACILITIES ARE TO BE REMOVED AND CONDITIONS RESTORED TO THEIR ORIGINAL STATE AT THE CONTRACTORS EXPENSE.
- 6.05 THROUGHOUT ALL PHASES OF CONSTRUCTION, INCLUDING SUSPENSION OF THE WORK, AND UNTIL FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL KEEP THE PROJECT SITE CLEAN AND FREE FROM THE ACCUMULATION OF RUBBISH AND DEBRIS. THE CONTRACTOR SHALL ABATE DUST NUISANCE AS NECESSARY. ALL RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF AS LAWFULLY REQUIRED.
- 6.06 MATERIALS AND EQUIPMENT SHALL BE REMOVED FROM THE PROJECT SITE AS SOON AS THEY ARE NO LONGER NECESSARY FOR THE EXECUTION OF THE WORK.
- 7.0 PERMITS
- 7.01 NO WORK IS TO BE PERFORMED WITHOUT PERMITS REQUIRED BY THE APPLICABLE CODES.
- 7.02 THE CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR THE COSTS OF ALL PERMITS, APPROVALS, TESTING, AND INSPECTIONS REQUIRED BY THE APPLICABLE CODES UNLESS AGREED TO IN WRITING PRIOR TO THE AWARD OF A CONTRACT FOR CONSTRUCTION.
- 7.03 THE CONTRACTOR SHALL PROVIDE COPIES OF ALL PERMITS AS REQUESTED BY THE BUILDING OWNER OR THE ARCHITECT.

- 8.0 **CONTRACT DRAWINGS AND DOCUMENTS**
- 8.01 ALL DETAILS, SECTIONS AND NOTES SHOWN ON DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS NOTED OTHERWISE. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 8.02 DIMENSIONS ARE CONSIDERED TO BE "NOMINAL" UNLESS OTHERWISE NOTED. ALL MEASUREMENTS ARE TO FINISHED SURFACE UNLESS OTHERWISE NOTED.
- 8.03 ALL DIMENSIONS HAVE PREFERENCE OVER SCALE. DO NOT SCALE DRAWINGS.
- 8.04 IN THE EVENT THAT QUESTIONS ARISE WITH RESPECT TO THE INTENT OF THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION OF THE INTENT.
- 8.05 IT IS THE INTENTION OF THESE DOCUMENTS TO PROVIDE A PROJECT COMPLETE AND READY FOR OCCUPANCY IN EVERY RESPECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THIS RESULT AND SHALL NOTIFY THE ARCHITECT OF APPARENT DEFICIENCIES PRIOR TO THE SUBMITTAL OF CONSTRUCTION BIDS.
- 8.06 THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ANY REQUESTS FOR MODIFICATIONS TO THE CONTRACT DOCUMENTS IN THE FORM OF FIELD DRAWINGS, SHOP DRAWINGS, SAMPLES OR OTHER MEANS APPROPRIATE WITH SPECIFIC CHANGES IDENTIFIED FOR REVIEW.
- 9.0 **CONSTRUCTION FACILITIES**
- 9.01 THE CONTRACTOR SHALL PROVIDE THROUGH THE COURSE OF CONSTRUCTION A JOBSITE OFFICE COMPLETE WITH TEMPORARY TELEPHONE SERVICE AND A DEVICE FOR DISPLAY OF ELECTRONIC MEDIA. THE ARCHITECT SHALL BE NOTIFIED AS TO THE TELEPHONE NUMBERS.
- 9.02 THE CONTRACTOR SHALL MAINTAIN ON THE PROJECT SITE A CURRENT SET OF THE CONSTRUCTION DOCUMENTS FOR REFERENCE BY ALL TRADES, AND SHALL UPDATE SUCH DOCUMENTS TO INSURE COORDINATION OF ANY CHANGES WHICH OCCUR DURING THE CONSTRUCTION PHASE.
- 9.03 THE CONTRACTOR SHALL DESIGNATE A REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO ACT ON BEHALF OF THE CONTRACTOR AND SHALL BE PRESENT AT THE PROJECT SITE WHENEVER WORK IS IN PROGRESS. THE ARCHITECT SHALL BE NOTIFIED AS TO THE NAME OF THE REPRESENTATIVE.
- 9.04 THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE SANITATION FACILITIES FOR CONSTRUCTION PERSONNEL THROUGH THE COURSE OF CONSTRUCTION AS APPROVED BY THE BUILDING OWNER AND AS REQUIRED BY GOVERNING AUTHORITIES.
- 10.0 **COORDINATION**
- 10.01 THE CONTRACTOR, UPON COMMENCING WITH THE WORK SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE BUILDING OWNER AND THE ARCHITECT DESCRIBING THE CHRONOLOGICAL PHASES OF THE EXECUTION AND COMPLETION OF THE WORK.
- 10.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTOR TRADES AND SHALL SCHEDULE THESE TRADES TO MAINTAIN A LOGICAL SEQUENCE FOR THE EXECUTION AND COMPLETION OF THE WORK.
- 10.03 THE CONTRACTOR SHALL COORDINATE THE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR THE SIZE AND LOCATION OF WALL, FLOOR AND ROOF AND SHAFT OPENINGS, WALL OFFSETS, PROVISIONS FOR EQUIPMENT, ATTACHMENT AND MOUNTING OF FIXTURES, BACKING, INSERTS, OTHER EMBEDDED ITEMS, HARDWARE, PIPE, VENT, DUCT AND CONDUIT AND SCHEDULE THE INSTALLATION OF THESE ITEMS TO MAINTAIN A LOGICAL SEQUENCE FOR THE EXECUTION AND COMPLETION OF THE WORK.
- 10.04 THE CONTRACTOR SHALL ALSO COORDINATE AND COOPERATE WITH ALL OTHER TRADES UNDER SEPARATE CONTRACT WITH THE OWNER TO MAINTAIN A LOGICAL SEQUENCE FOR THE EXECUTION AND COMPLETION OF THE PROJECT.
- 11.0 **PROTECTION**
- 11.01 THE CONTRACTOR SHALL PROTECT EXISTING CONDITIONS AND NEW CONSTRUCTION FROM DAMAGE DURING CONSTRUCTION.
- 11.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE AREA OF WORK AS REQUIRED TO PREVENT DAMAGE AND/OR LOSS OF MATERIALS, EQUIPMENT, AND PRODUCTS ASSOCIATED WITH THE WORK.
- 11.03 THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS AND SHORING REQUIRED FOR SUPPORT OF ALL CONSTRUCTION LOADS AND PROTECTION OF EXISTING CONDITIONS TO REMAIN DURING DEMOLITION AND/OR CONSTRUCTION.
- 11.04 THE CONTRACTOR SHALL PROTECT ALL COMPLETED WORK FROM THE DETRIMENTAL EFFECTS OF THE SUBSEQUENT PHASES OR TRADES AS NECESSARY TO PREVENT DAMAGE AND DEFECTS.
- 11.05 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REMOVAL, REPAIR, AND REPLACEMENT OF ALL DAMAGED AND DEFECTIVE MATERIALS AND WORKMANSHIP TO THE SATISFACTION OF THE BUILDING OWNER AND THE ARCHITECT.
- 12.0 **MATERIALS AND WORKMANSHIP**
- 12.01 ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE NATIONAL ASSOCIATIONS OF THE VARIOUS TRADES.
- 12.02 UNLESS NOTED TO THE CONTRARY, ALL MATERIALS AND EQUIPMENT ARE TO BE NEW.
- 12.03 ONLY COMPETENT WORKERS SKILLED IN THEIR RESPECTIVE TRADES SHALL BE EMPLOYED ON THE WORK.
- 12.04 THE ARCHITECT SHALL HAVE ACCESS TO THE PROJECT SITE AT ALL TIMES DURING THE EXECUTION OF THE WORK.
- 12.05 WORKMANSHIP PROVIDED FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL CONFORM TO THE HIGHEST STANDARDS OF THE TRADE.
- 12.06 MATERIALS SHALL BE MANUFACTURED, HANDLED, AND INCORPORATED INTO THE WORK IN A WORKMANLIKE MANNER AND IN CONFORMANCE WITH THE SPECIFICATIONS AND INSTRUCTIONS OF THE MANUFACTURER.
- 12.07 WHERE REQUIRED BY APPLICABLE CODES, MATERIALS SHALL BEAR MARKINGS AND IDENTIFICATION AS REQUIRED.
- 13.0 **CLOSE OUT**
- 13.01 UPON COMPLETION OF THE WORK, CONTRACTOR SHALL LEAVE SITE AND BUILDING CLEAN AND SUITABLE FOR OCCUPANCY TO THE SATISFACTION OF THE ARCHITECT AND THE BUILDING OWNER.
- 13.02 A LIST OF CORRECTIVE MEASURES REQUIRED FOR COMPLETION SHALL BE DEVELOPED AND ADDRESSED BY THE CONTRACTOR IN AN EXPEDITIOUS MANNER.
- 13.03 ALL CONSTRUCTION ACCESS PATHS, DELIVERY AND STORAGE AREAS, SHAFTS, PLENUMS, CONCEALED SPACES, AND OTHER AREAS AFFECTED BY CONSTRUCTION OPERATIONS SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF THE ARCHITECT AND THE BUILDING OWNER.
- 13.04 THE CONTRACTOR SHALL PROVIDE RECORDS OF ALL INSPECTIONS AND TESTS PERFORMED IN CONJUNCTION WITH THE WORK AS WELL AS ALL MANUFACTURERS' WARRANTIES, GUARANTEES, INSTRUCTION SHEETS, AND PARTS LISTS PROVIDED FOR MATERIALS AND EQUIPMENT INCORPORATED INTO THE WORK.
- 13.05 CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF AT LEAST ONE YEAR BEYOND THE DATE OF COMPLETION UNLESS SPECIFICALLY AGREED TO IN WRITING PRIOR TO THE AWARD OF A CONTRACT FOR CONSTRUCTION.

SECURITY REQUIREMENTS

GENERAL:

1. SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES.
- DOORS:
 1. DOOR JAMBS SHALL BE INSTALLED WITH SOLID BACKING IN SUCH A MANNER THAT ANY OPEN SPACE BETWEEN TRIMMERS AND WOOD DOORJAMBS SHALL BE SOLID SHIMMED BY A SINGLE PIECE EXTENDING NOT LESS THAN TWELVE INCHES ABOVE AND BELOW THE STRIKE PLATE.
 2. DOOR STOPS ON WOODEN JAMBS FOR INSWINGING DOORS SHALL BE OF ONE PIECE CONSTRUCTION WITH THE JAMB. JAMBS FOR ALL DOORS SHALL BE CONSTRUCTED OR PROTECTED SO AS TO PREVENT VIOLATION OF THE STRIKE.
 3. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM THE OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH * MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICES FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG.
 4. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY OPERATED LOCKS ON THE EXTERIOR. LOCKS MUST BE OPERABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT.
 5. IN WOOD FRAMING, HORIZONTAL BLOCKING SHALL BE PLACED BETWEEN STUDS AT DOOR LOCK HEIGHT FOR THREE STUD SPACES EACH SIDE OF THE DOOR OPENINGS. TRIMMERS SHALL BE FULL LENGTH FROM THE HEADER TO THE FLOOR WITH SOLID BACKING AGAINST SOLE PLATES.
 6. THE STRIKE PLATE FOR DEAD BOLTS ON ALL WOOD FRAMED DOORS SHALL BE CONSTRUCTED OF MINIMUM SIXTEEN U.S. GAUGE STEEL, BRONZE, OR BRASS AND SECURED TO THE JAMB BY A MINIMUM OF TWO SCREWS, WHICH MUST PENETRATE AT LEAST TWO INCHES INTO SOLID BACKING BEYOND THE SURFACE TO WHICH THE STRIKE IS ATTACHED.
 7. NOT LESS THAN THREE FOUR AND ONE-HALF INCH STEEL BUTT HINGES SHALL BE SYMMETRICALLY FASTENED TO BOTH THE DOOR AND FRAME WITH NOT LESS THAN FOUR NO. 9 BY THREE-FOURTHS-INCH WOOD SCREWS OR TO METAL WITH NOT LESS THAN FOUR NO. 8 MACHINE SCREWS.
 8. IN WOOD CONSTRUCTION, AN OPEN SPACE BETWEEN TRIMMERS AND WOOD DOORJAMBS SHALL BE SOLID SHIMMED EXTENDING NOT LESS THAN SIX INCHES ABOVE AND BELOW THE HINGE PLATE. (ADDED BY ORD. NO. 1945CCS § 12, ADOPTED 6/8/99)
 9. D PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS OVER 1" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 7". STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8" AND 3" IN WIDTH.
 10. A SINGLE OR DOUBLE DOOR SHALL BE EQUIPPED WITH A SINGLE CYLINDER DEADBOLT LOCK. THIS DEADBOLT LOCK MUST BE ACTUATED BY A KEY FROM THE EXTERIOR AND A KNOB OR THUMB TURN FROM THE INTERIOR AND WHEN PROJECTED BECOMES LOCKED AGAINST RETURN BY END PRESSURE. THE BOLT SHALL HAVE A MINIMUM PROJECTION OF ONE INCH AND BE CONSTRUCTED SO AS TO REPEL CUTTING TOOL ATTACK. THE DEADBOLT SHALL HAVE AN EMBEDMENT OF AT LEAST THREE-FOURTHS OF AN INCH INTO THE STRIKE RECEIVING THE PROJECTED BOLT. THE CYLINDER SHALL HAVE A CYLINDER GUARD, A MINIMUM OF FIVE PIN TUMBLERS, AND SHALL BE CONNECTED TO THE INNER PORTION OF THE LOCK BY CONNECTING SCREWS OF AT LEAST ONE-FOURTH OF AN INCH IN DIAMETER. ALL INSTALLATION SHALL BE DONE SO THAT THE PERFORMANCE OF THE LOCKING DEVICE WILL MEET THE INTENDED ANTI-BURGLARY REQUIREMENTS. A DUAL LOCKING MECHANISM CONSTRUCTED SO THAT BOTH DEADBOLT AND LATCH CAN BE RETRACTED BY A SINGLE ACTION OF THE INSIDE DOOR KNOB, OR LEVER, MAY BE SUBSTITUTED PROVIDED IT MEETS ALL OTHER SPECIFICATIONS FOR LOCKING DEVICES.
 11. THE INACTIVE LEAF OF DOUBLE DOORS(S) SHALL BE EQUIPPED WITH METAL FLUSH BOLTS HAVING A MINIMUM EMBEDMENT OF FIVE-EIGHTHS OF AN INCH INTO THE HEAD AND THRESHOLD OF THE DOOR FRAME. SINGLE-SWINGING DOORS AND THE ACTIVE LEAF OF DOORS IN PAIRS SHALL BE EQUIPPED WITH AN APPROVED EXTERIOR KEY-OPERATING DEADBOLT WHICH HAS BEEN TESTED IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE NEW JERSEY EDITION. SEE CHAPTER 10 OF THE I.B.C. NJ ED FOR REQUIREMENTS ON DOOR OPERATION FOR EXITING.
 12. METAL OR WOODEN OVERHEAD OR SLIDING DOOR SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED.
 13. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.

SPECIAL HAZARDS

- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED.
- A) INGRESS AND EGRESS DOORS.
 - B) PANELS IN SLIDING OR SWINGING DOORS.
 - C) DOORS AND ENCLOSURES FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE).
- SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
- A) IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY.
 - B) IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATION AS SPECIFIED IN A) ABOVE.
- PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBEQUE.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.

GARAGE / CARPORTS

1. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES ARE NOT PERMITTED (R302.5.1).
2. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)
3. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).
4. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL, OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE. (R302.5.2).
5. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3).
6. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)

FIRE RESISTANCE RATED CONSTRUCTION

1. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS. (R302.4.1)
2. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)
3. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
4. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

GLAZING:

1. GLAZING IN EXTERIOR DOORS OR WITHIN FORTY INCHES OF ANY LOCKING MECHANISM SHALL BE OF FULLY TEMPERED GLASS OR RATED BURGLARY-RESISTANT GLAZING, EXCEPT WHEN DOUBLE CYLINDER DEADBOLT LOCKS WITH A KEY RETAINING FEATURE ARE INSTALLED.
2. EXCEPT WHERE CLEAR VISION PANELS ARE INSTALLED, ALL FRONT EXTERIOR DOORS SHALL BE EQUIPPED WITH A WIDE ANGLE (ONE HUNDRED EIGHTY DEGREES) DOOR VIEWER.
3. OTHER OPERABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES.
4. SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
5. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24" FOR THE CLOSEST OPENING THROUGH SUCH MEAT BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION.
- OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS:
 1. ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS NO LESS THAN 6" IN ONE DIMENSION.
- GARAGE TYPE DOORS:
 1. WOOD DOORS SHALL HAVE PANELS A MINIMUM OF FIVE-SIXTEENTHS OF AN INCH IN THICKNESS WITH THE LOCKING HARDWARE BEING ATTACHED TO THE SUPPORT FRAMING.
 2. ALUMINUM DOORS SHALL BE A MINIMUM THICKNESS OF .0215 INCHES AND RIVETED TOGETHER A MINIMUM OF EIGHTEEN INCHES ON CENTER ALONG THE OUTSIDE SEAMS. THERE SHALL BE A FULL WIDTH HORIZONTAL BEAM ATTACHED TO THE MAIN DOOR STRUCTURE WHICH SHALL MEET THE PILOT, OR PEDESTRIAN ACCESS, DOOR FRAMING WITHIN THREE INCHES OF THE STRIKE AREA OF THE PILOT OR PEDESTRIAN ACCESS DOOR.
 3. FIBERGLASS DOORS SHALL HAVE PANELS A MINIMUM DENSITY OF SIX OUNCES PER SQUARE FOOT FROM THE BOTTOM OF THE DOOR TO A HEIGHT OF SEVEN FEET. PANELS ABOVE SEVEN FEET AND PANELS IN RESIDENTIAL STRUCTURES SHALL HAVE A DENSITY NOT LESS THAN FIVE OUNCES PER SQUARE FOOT.
 4. DOORS UTILIZING A CYLINDER LOCK SHALL HAVE A MINIMUM FIVE PIN TUMBLER OPERATION WITH THE LOCKING BAR OR BOLT EXTENDING INTO THE RECEIVING GUIDE A MINIMUM OF ONE INCH.
 5. DOORS THAT EXCEED SIXTEEN FEET IN WIDTH SHALL HAVE TWO LOCK RECEIVING POINTS; OR, IF THE DOOR DOES NOT EXCEED NINETEEN FEET, A SINGLE BOLT MAY BE USED IF PLACED IN THE CENTER OF THE DOOR WITH THE LOCKING POINT LOCATED EITHER AT THE FLOOR OR DOOR FRAME HEADER, OR, TORSION SPRING COUNTER BALANCE TYPE HARDWARE MAY BE USED.
 6. EXCEPT IN A RESIDENTIAL BUILDING, DOORS SECURED BY ELECTRICAL OPERATION SHALL HAVE A KEYSWITCH TO OPEN THE DOOR WHEN IN A CLOSED POSITION, OR BY A SIGNAL LOCKING DEVICE.
 7. DOORS WITH SLIDE BOLT ASSEMBLIES SHALL HAVE FRAMES A MINIMUM OF .120 INCHES IN THICKNESS, WITH A MINIMUM BOLT DIAMETER OF ONE-HALF INCH AND PROTRUDE AT LEAST ONE AND ONE-HALF INCHES INTO THE RECEIVING GUIDE. A BOLT DIAMETER OF THREE-EIGHTHS OF AN INCH MAY BE USED IN A RESIDENTIAL BUILDING. THE SLIDE BOLT SHALL BE ATTACHED TO THE DOOR WITH NONREMOVABLE BOLTS FROM THE OUTSIDE. RIVETS SHALL NOT BE USED TO ATTACH SLIDE BOLT ASSEMBLIES.
 8. EXCEPT IN A RESIDENTIAL BUILDING, PADLOCK(S) USED WITH EXTERIOR MOUNTED SLIDE BOLT(S) SHALL HAVE A HARDENED STEEL SHACKLE LOCKING BOTH AT HEEL AND TOE AND A MINIMUM FIVE-PIN TUMBLER OPERATION WITH NONREMOVABLE KEY WHEN IN AN UNLOCKED POSITION. PADLOCK(S) USED WITH INTERIOR MOUNTED SLIDE BOLT SHALL HAVE A HARDENED STEEL SHACKLE WITH A MINIMUM FOUR PIN TUMBLER OPERATION. (ADDED BY ORD. NO. 1945CCS § 12, ADOPTED 6/8/99)

FIRE PROTECTION

1. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
2. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLINGS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

BUILDING ENVELOPE

1. PROVIDE A CLASS A, B OR C FIRE-RETARDANT ROOF COVERING PER SECTION R902.1.
2. EVERY DWELLING UNIT SHALL BE PROVIDED WITH A WATER CLOSET, LAVATORY, BATHTUB OR SHOWER, AND KITCHEN (R306.1 AND R306.2).
3. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):
 - A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.
 - B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
 - C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - 1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - 2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - 3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - 4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
 - D. GLAZING IN GUARDS AND RAILINGS.
 - E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
 - G. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.
 - H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.
4. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6.
5. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).
6. DAMPPROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R406.1.
7. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4.
8. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
9. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.



DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585.490.6941

ALL CONDITIONS LISTED ARE BASED ON THE SHEET AND THE INTELLECTUAL PROPERTY OF BLD INC. ANY REPRODUCTION, REUSE OR ALTERATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF THE OWNER OF BLD INC. IS STRICTLY FORBIDDEN. UNAUTHORIZED USE OF THESE PLANS EXCEPT FOR THE INTENDED PROJECT AND DESIGNATED LOCATION IS NOT ALLOWED.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536

APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUED FOR
PLAN CHECK

10/07/2024

DRAWN BY: BL CHECKED BY: BL

DATE: 09/20/2024

GENERAL NOTES

G-0.01

LIGHTING

- 1. LUMINAIRE REQUIREMENTS.
 - A. LUMINAIRE EFFICACY. ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.
 - B. BLANK ELECTRICAL BOXES. THE NUMBER OF ELECTRICAL BOXES THAT ARE MORE THAN 5 FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE SHALL BE NO GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL.
 - C. RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS. LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
 - i. BE LISTED, AS DEFINED IN SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT (IC) BY UNDERWRITERS LABORATORIES OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND
 - ii. HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. AN EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND
 - iii. BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK.
 - iv. FOR LUMINAIRES WITH HARDWIRED BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING; AND
 - v. SHALL NOT CONTAIN SCREW BASE SOCKETS; AND
 - vi. SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "JA8-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
 - D. ELECTRONIC BALLASTS. BALLASTS FOR FLUORESCENT LAMPS RATED 13 WATTS OR GREATER SHALL BE ELECTRONIC AND SHALL HAVE AN OUTPUT FREQUENCY NO LESS THAN 20 KHZ.
 - E. NIGHT LIGHTS. PERMANENTLY INSTALLED NIGHT LIGHTS AND NIGHT LIGHTS INTEGRAL TO INSTALLED LUMINAIRES OR EXHAUST FANS SHALL BE RATED TO CONSUME NO MORE THAN FIVE WATTS OF POWER PER LUMINAIRE OR EXHAUST FAN AS DETERMINED IN ACCORDANCE WITH SECTION 130.0(C). NIGHT LIGHTS SHALL NOT BE REQUIRED TO BE CONTROLLED BY VACANCY SENSORS.
 - F. LIGHTING INTEGRAL TO EXHAUST FANS. LIGHTING INTEGRAL TO EXHAUST FANS SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 150(K).
 - EXCEPTION TO SECTION 150.0(K)1F: LIGHTING INSTALLED BY THE MANUFACTURER IN KITCHEN EXHAUST HOODS.
 - G. SCREW BASED LUMINAIRES. SCREW BASED LUMINAIRES SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
 - i. THE LUMINAIRES SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS; AND
 - ii. THE LUMINAIRES SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8; AND
 - iii. THE INSTALLED LAMPS SHALL BE MARKED WITH "JA8-2016" OR "JA8-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
 - EXCEPTION TO SECTION 150.0(K)1G: LUMINAIRES WITH HARD-WIRED BALLASTS FOR HIGH INTENSITY DISCHARGE LAMPS.
 - H. ENCLOSED LUMINAIRES. LIGHT SOURCES THAT ARE NOT MARKED "JA8-2016-E" SHALL NOT BE INSTALLED IN ENCLOSED LUMINAIRES.
 - 2. INTERIOR LIGHTING SWITCHING DEVICES AND CONTROLS.
 - A. ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES SHALL COMPLY WITH NEMA SSL 7A.
 - B. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.
 - EXCEPTION TO SECTION 150.0(K)2B: LIGHTING INTEGRAL TO AN EXHAUST FAN MAY BE ON THE SAME SWITCH AS THE FAN PROVIDED THE LIGHTING CAN BE SWITCHED OFF IN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150.0(K)2 WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.
 - C. LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
 - D. LIGHTING CONTROLS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - E. NO CONTROLS SHALL BYPASS A DIMMER OR VACANCY SENSOR FUNCTION WHERE THAT DIMMER OR VACANCY SENSOR HAS BEEN INSTALLED TO COMPLY WITH SECTION 150.0(K).
 - F. LIGHTING CONTROLS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF SECTION 110.9.
 - G. AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A DIMMER IN ACCORDANCE WITH SECTION 110.9. MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS IN SECTION 130.4, THE EMCS REQUIREMENTS IN SECTION 130.5(F), AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K)2.
 - H. AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH VACANCY SENSOR REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A VACANCY SENSOR IN ACCORDANCE WITH SECTION 110.9. MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS IN SECTION 130.4, THE EMCS REQUIREMENTS IN SECTION 130.5(F), AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K)2.
 - I. A MULTISCENE PROGRAMMABLE CONTROLLER MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A DIMMER IN ACCORDANCE WITH SECTION 110.9, AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K)2.
 - J. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
 - K. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8.
 - EXCEPTION 1 TO SECTION 150.0(K)2K: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET.
 - EXCEPTION 2 TO SECTION 150.0(K)2K: LUMINAIRES IN HALLWAYS.
 - L. UNDERCABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
 - 3. RESIDENTIAL OUTDOOR LIGHTING. IN ADDITION TO MEETING THE REQUIREMENTS OF SECTION 150.0(K)1A, LUMINAIRES PROVIDING RESIDENTIAL OUTDOOR LIGHTING SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE:
 - A. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL MEET THE REQUIREMENT IN ITEM I AND THE REQUIREMENTS IN EITHER ITEM II OR ITEM III:
 - i. CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF ITEMS II OR III BELOW; AND
 - ii. CONTROLLED BY PHOTOCELL AND MOTION SENSOR. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS; OR
 - iii. CONTROLLED BY ONE OF THE FOLLOWING METHODS:
 - a. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE SHALL AUTOMATICALLY RETURN THE PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL TO ITS NORMAL OPERATION WITHIN 6 HOURS; OR
 - b. ASTRONOMICAL TIME CLOCK. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE SHALL AUTOMATICALLY RETURN THE ASTRONOMICAL CLOCK TO ITS NORMAL OPERATION WITHIN 6 HOURS AND WHICH IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS; OR
 - c. ENERGY MANAGEMENT CONTROL SYSTEM WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS:
 - AT A MINIMUM PROVIDES THE FUNCTIONALITY OF AN ASTRONOMICAL TIME CLOCK IN ACCORDANCE WITH SECTION 110.9; MEETS THE INSTALLATION CERTIFICATION REQUIREMENTS IN SECTION 130.4; DOES NOT HAVE AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRE TO BE ALWAYS ON; AND, IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HRS.
 - 4. INTERNALLY ILLUMINATED ADDRESS SIGNS. INTERNALLY ILLUMINATED ADDRESS SIGNS SHALL:
 - A. COMPLY WITH SECTION 140.8; OR
 - B. SHALL CONSUME NO MORE THAN 5 WATTS OF POWER AS DETERMINED ACCORDING TO SECTION 130.0(C).

ENERGY EFFICIENCY

- 1. OPERATING INFORMATION. THE BUILDER SHALL PROVIDE THE BUILDING OWNER AT OCCUPANCY, OPERATING INFORMATION FOR ALL APPLICABLE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES INSTALLED IN THE BUILDING. OPERATING INFORMATION SHALL INCLUDE INSTRUCTIONS ON HOW TO OPERATE THE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES CORRECTLY AND EFFICIENTLY. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR. OPERATING INFORMATION FOR RESIDENTIAL BUILDINGS, SUCH INFORMATION SHALL BE CONTAINED IN A FOLDER OR MANUAL WHICH PROVIDES ALL CERTIFICATE OF COMPLIANCE, CERTIFICATE OF INSTALLATION, AND CERTIFICATE OF VERIFICATION DOCUMENTATION. THIS OPERATING INFORMATION SHALL BE IN PAPER OR ELECTRONIC FORMAT. [10-103(B)(2)]
- 2. MAINTENANCE INFORMATION. THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY, MAINTENANCE INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS, AND MANUFACTURED DEVICES THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT OPERATION. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING, BY TITLE AND/OR PUBLICATION NUMBER, THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF FEATURE, MATERIAL, COMPONENT OR MANUFACTURED DEVICE. [10-103(B)(3)]
- 3. ALL SYSTEMS, EQUIPMENT AND/OR BUILDING COMPONENTS SHALL COMPLY WITH THE APPLICABLE MANUFACTURER PROVISIONS AND INSTALLATION PROVISIONS OF SECTIONS 110.0 THROUGH 110.10.
- 4. ANY APPLIANCE REGULATED BY THE APPLIANCE EFFICIENCY REGULATIONS, TITLE 20 CALIFORNIA CODE OF REGULATIONS, SECTION 1601 ET SEQ., MAY BE INSTALLED ONLY IF THE APPLIANCE FULLY COMPLIES WITH SECTION 1608(A) OF THOSE REGULATIONS. [110.1]
- 5. SERVICE WATER-HEATING SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC TEMPERATURE CONTROLS CAPABLE OF ADJUSTMENT FROM THE LOWEST TO THE HIGHEST ACCEPTABLE TEMPERATURE SETTINGS FOR THE INTENDED USE AS LISTED IN TABLE 3, CHAPTER 50 OF THE ASHRAE HANDBOOK, HVAC APPLICATIONS VOLUME. [110.3(A)(1)]
- 6. ON SYSTEMS THAT HAVE A TOTAL CAPACITY GREATER THAN 167,000 BTUHR, OUTLETS THAT REQUIRE HIGHER THAN SERVICE WATER TEMPERATURES AS LISTED IN THE ASHRAE HANDBOOK, APPLICATIONS VOLUME, SHALL HAVE SEPARATE REMOTE HEATERS, HEAT EXCHANGERS, OR BOOSTERS TO SUPPLY THE OUTLET WITH THE HIGHER TEMPERATURE. [110.3(C)(1)]
- 7. SERVICE HOT WATER SYSTEMS WITH CIRCULATING PUMPS OR WITH ELECTRICAL HEAT TRACE SYSTEMS SHALL BE CAPABLE OF AUTOMATICALLY TURNING OFF THE SYSTEM. [110.3(C)(2)]
- 8. CONTROLS FOR SERVICE WATER-HEATING SYSTEMS SHALL LIMIT THE OUTLET TEMPERATURE AT PUBLIC LAVATORIES TO 110°F. [110.3(C)(3)]
- 9. UNFIRED SERVICE WATER-HEATER STORAGE TANKS AND BACKUP TANKS FOR SOLAR WATER-HEATING SYSTEMS SHALL HAVE:
 - A) EXTERNAL INSULATION WITH AN INSTALLED R-VALUE OF AT LEAST R-12; OR
 - B) INTERNAL AND EXTERNAL INSULATION WITH A COMBINED R-VALUE OF AT LEAST R-16; OR
 - C) THE HEAT LOSS OF THE TANK SURFACE, BASED ON AN 80°F WATER-AIR TEMPERATURE DIFFERENCE SHALL BE LESS THAN 6.5 BTUHR PER SQUARE FOOT. [110.3 (C)(3)]
- 10. SPACE CONDITIONING EQUIPMENT SHALL MEET THE EFFICIENCY STANDARDS SPECIFIED SECTION 120.2.
- 11. PILOT LIGHTS SHALL BE PROHIBITED FOR: [110.5]
 - A) FAN-TYPE CENTRAL FURNACES
 - B) HOUSEHOLD COOKING APPLIANCES, EXCEPT FOR HOUSEHOLD COOKING APPLIANCES WITHOUT AN ELECTRICAL SUPPLY VOLTAGE CONNECTION AND IN WHICH EACH PILOT CONSUMES LESS THAN 150 BTUHR
 - C) POOL HEATERS
 - D) SPA HEATERS
- 12. ANY POOL OR SPA HEATING SYSTEM OR EQUIPMENT SHALL:
 - A) A THERMAL EFFICIENCY THAT COMPLIES WITH THE APPLIANCE EFFICIENCY REGULATIONS
 - B) HAVE A READILY ACCESSIBLE ON-OFF SWITCH, MOUNTED ON THE OUTSIDE OF THE HEATER THAT ALLOWS SHUTTING OFF THE HEATER WITHOUT ADJUSTING THE THERMOSTAT SETTING.
 - C) NOT UTILIZE ELECTRIC RESISTANCE HEATING.
 - D) HAVE A THERMAL INSULATION COVER FOR OUTDOOR POOLS OR SPAS THAT HAVE A HEAT PUMP OR GAS HEATER
 - E) HAVE A PERMANENT, READABLE, WEATHERPROOF INSTRUCTION CARD THAT GIVES INSTRUCTIONS FOR THE PROPER, ENERGY EFFICIENT OPERATION OF THE POOL OR SPA HEATER.
 - F) HAVE AT LEAST 36 INCHES OF PIPE BETWEEN THE FILTER AND HEATER OR DEDICATED SUCTION AND RETURN LINES OR BUILT-IN OR BUILT-UP CONNECTIONS SHALL BE INSTALLED TO ALLOW FOR THE FUTURE ADDITION OF SOLAR HEATING EQUIPMENT.
 - G) HAVE DIRECTIONAL INLETS FOR THE POOL OR SPA THAT ADEQUATELY MIX THE POOL WATER.
 - H) A TIME SWITCH OR SIMILAR CONTROL MECHANISM SHALL BE INSTALLED AS PART OF A POOL WATER CIRCULATION CONTROL SYSTEM THAT WILL ALLOW ALL PUMPS TO BE SET OR PROGRAMMED TO RUN ONLY DURING THE OFF-PEAK ELECTRIC DEMAND PERIOD AND FOR THE MINIMUM TIME NECESSARY TO MAINTAIN THE WATER IN THE CONDITION REQUIRED BY APPLICABLE PUBLIC HEALTH STANDARDS.
- 13. MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS SHALL HAVE AIR INFILTRATION RATES NOT EXCEEDING 0.3 CFM/FT² OF WINDOW AREA, 0.3 CFM/FT² OF RESIDENTIAL DOOR AREA, 0.3 CFM/FT² OF NONRESIDENTIAL SINGLE DOOR AREA, AND 1.0 CFM/FT² OF NONRESIDENTIAL DOUBLE DOOR AREA. [110.6(A)(1)]
- 14. FENESTRATION PRODUCTS SHALL BE CERTIFIED FOR OVERALL U-VALUES AND OVERALL SHGC, AND SHALL HAVE A TEMPORARY LABEL WHICH LISTS THE CERTIFIED U-VALUE AND SHGC, AND CERTIFIES THAT APPLICABLE AIR INFILTRATION REQUIREMENTS ARE MET. [110.6(A)(2), 110.6(A)(5)]
- 15. FIELD MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS, OTHER THAN UNFRAMED GLASS DOORS AND FIRE DOORS, SHALL BE CAULKED BETWEEN THE FENESTRATION PRODUCTS OR EXTERIOR DOOR AND THE BUILDING, AND SHALL BE WEATHERSTRIPPED. [110.6(A)(6)]
- 16. JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. [110.7]
- 17. INSULATION SHALL BE CERTIFIED BY DEPARTMENT OF CONSUMER AFFAIRS, BUREAU OF HOME FURNISHING AND THERMAL INSULATION THAT THE INSULATION CONDUCTIVE THERMAL PERFORMANCE IS APPROVED PURSUANT TO THE CALIFORNIA CODE OF REGULATIONS. [110.8(A)]
- 18. UREA FORMALDEHYDE FOAM INSULATION MAY ONLY BE USED IN EXTERIOR SIDE WALLS, AND REQUIRES A FOUR-MIL-THICK PLASTIC POLYETHYLENE VAPOR BARRIER BETWEEN THE UREA FORMALDEHYDE FOAM INSULATION AND THE INTERIOR SPACE. [110.8(B)]
- 19. INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF THE CBC. [110.8(C)] 20. INSULATION INSTALLED ON AN EXISTING SPACE CONDITIONING DUCT, IT SHALL COMPLY WITH SECTION 605 OF THE CMC. [110.8(D)(3)]
- 21. EXTERNAL INSULATION INSTALLED ON AN EXISTING UNFIRED WATER STORAGE TANK OR ON AN EXISTING BACKUP TANK FOR A SOLAR WATER-HEATING SYSTEM, IT SHALL HAVE AN R-VALUE OF AT LEAST R-12, OR THE HEAT LOSS OF THE TANK SURFACE BASED ON AN 80 EF WATER-AIR TEMPERATURE DIFFERENCE SHALL BE LESS THAN 6.5 BTU PER HOUR PER SQUARE FOOT. [110.8(D)(2)]
- 22. THE OPAQUE PORTIONS OF FRAMED DEMISING WALLS SHALL HAVE INSULATION WITH AN INSTALLED R-VALUE OF AT LEAST R-13 BETWEEN FRAMING MEMBERS. [110.8(F)]
- 23. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS. EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - C. STATE CERTIFIED APPRENTICESHIP PROGRAMS.
 - D. PUBLIC UTILITY TRAINING PROGRAMS, TRAINING PROGRAMS SPONSORED BY TRADE, LABOR OR STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATIONS.
 - E. PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS.
 - F. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

- 24. WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION TO OTHER CERTIFICATIONS OR QUALIFICATIONS ACCEPTABLE TO THE ENFORCING AGENCY, THE FOLLOWING CERTIFICATIONS OR EDUCATION MAY BE CONSIDERED BY THE ENFORCING AGENCY WHEN EVALUATING THE QUALIFICATIONS OF A SPECIAL INSPECTOR:
 - W. CERTIFICATION BY A NATIONAL OR REGIONAL GREEN BUILDING PROGRAM OR STANDARD PUBLISHER.
 - X. CERTIFICATION BY A STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATION, SUCH AS HERS RATERS, BUILDING PERFORMANCE CONTRACTORS, AND HOME ENERGY AUDITORS.
 - Y. SUCCESSFUL COMPLETION OF A THIRD PARTY APPRENTICE TRAINING PROGRAM IN THE APPROPRIATE TRADE.
 - Z. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.
- 25. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.



DIGITAL STAMP

BENJAMIN LIN
 RA, NCIDQ, LEED AP- ID+C
 WWW.BLD-INFO.COM
 BEN@BLD-INFO.COM
 585-490-6941

ALL COPYRIGHTS AND RIGHTS RESERVED BY THE SHEET AND THE ARCHITECTURAL PROPERTY OF BLD INC. ANY REPRODUCTION, REUSE OR ALTERATION OF THIS SHEET WITHOUT THE WRITTEN CONSENT OF THE OWNER OF BLD INC. IS STRICTLY PROHIBITED. UNAUTHORIZED USE OF THESE PLANS, EXCEPT FOR THE INTENDED PROJECT AND DESIGNATED LOCATION, IS NOT ALLOWED.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

5 SCHALKS CROSSING RD SUITE 210,
 PLAINSBORO TOWNSHIP, NJ 08536
 APN:
 18-011404-0000-00043-0000-C202

REVISION

ISSUE FOR PLAN CHECK 10/07/2024

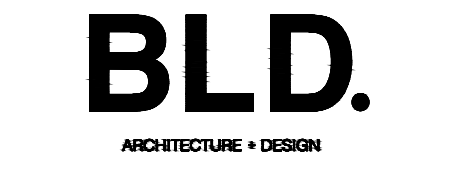
DRAWN BY: BL CHECKED BY: BL

DATE: 09/20/2024

GENERAL NOTES CONT.

G-0.02

<p>1.0 GENERAL REQUIREMENTS</p> <p>1.01 ALL APPLICABLE CODES AND REGULATIONS SHALL BE STRICTLY OBSERVED, INCLUDING ALL APPLICABLE STATE, CITY, AND COUNTY BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE CODES. THE CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING.</p> <p>1.02 DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL CONDITIONS TREATED SIMILARLY. MODIFICATIONS ARE TO BE MADE BY THE CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS.</p> <p>1.03 ALL DRAWINGS SHALL BE FULLY COORDINATED BY THE CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, REGLETS, BOLT SETTINGS, SLEEVES, ETC.</p> <p>1.04 THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES AND PROTECT THEM FROM DETERIORATION OR DAMAGE.</p> <p>1.05 THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES, MEANS, METHODS, OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS OR APPLICABLE CODES. CONTRACTORS SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR THE PROTECTION OF PERSONS AND PROPERTY IN ACCORDANCE WITH APPLICABLE GOVERNING REGULATIONS.</p> <p>1.06 THE CONTRACTOR SHALL PROCURE ALL NECESSARY BUILDING PERMITS.</p> <p>1.07 THE CONTRACTOR SHALL BRING ERRORS AND OMISSIONS THAT MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING. WRITTEN INSTRUCTIONS SHALL BE OBTAINED FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS, OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK BEGAN.</p> <p>1.08 THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED TO ASSURE THE ORDERLY PROGRESS OF WORK.</p> <p>1.09 CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC., SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.</p> <p>1.10 SHOP DRAWINGS ARE REQUIRED FOR STRUCTURAL, SPECIALIZED CONSTRUCTION, AND WHERE OTHERWISE REQUIRED WITHIN THESE DOCUMENTS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT FOR REVIEW OF CONFORMANCE WITH THE DESIGN INTENT OF THE CONTRACT DOCUMENTS. IN AREAS WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS.</p> <p>1.11 ALL MANUFACTURER'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS "OR APPROVED EQUAL" ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED.</p> <p>1.12 ALL CODES, TRADE STANDARDS, AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS SHALL BE THE LATEST APPLICABLE EDITION.</p> <p>1.13 THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER AND OWNER.</p> <p>1.14 THE CONTRACTOR SHALL HIRE A LICENSED ENGINEER TO TEST AND EVALUATE THE NEW CONSTRUCTION FOR THE PRESENCE OF POTENTIALLY HAZARDOUS OR POTENTIAL LEVELS OF RADON WITHIN THE BUILDING ENVELOPE. THESE TESTS AT A MINIMUM SHALL MEET WITH ANY APPLICABLE CODES HAVING JURISDICTION (FEDERAL, STATE, COUNTY, LOCAL). IF LEVELS OF RADON EXCEED THE CURRENT GOVERNMENT STANDARDS, THE CONTRACTOR SHALL HIRE A LICENSED ENGINEER TO DEVELOP A REPORT AND DOCUMENTS FOR THE CONTRACTOR'S USE IN PROVIDING CORRECTIVE MEASURES.</p> <p>2.0 SITE WORK</p> <p>2.01 PERFORM ALL SITE PREPARATION AND EXCAVATION IN THIS SECTION IN CONFORMANCE WITH THE FINAL SOILS COMPACTION AND GEOTECHNICAL REPORTS AND APPROVED SITE GRADING PLAN AS ACCEPTED BY THE OWNER AND BUILDING DEPARTMENT. IN THE ABSENCE OF THE GEOTECHNICAL REPORT, THE CONTRACTOR SHALL HIRE A LICENSED SOILS ENGINEER TO INVESTIGATE THE SITE AND SUBMIT A REPORT OF THIS WORK TO THE ARCHITECT. IF A DISCREPANCY FROM THE PRESUMED SOIL BEARING CAPACITY AND THE ASSUMED EQUIVALENT WEIGHT OF BACKFILL EXISTS, THE CONTRACTOR SHALL NOT PLACE FOUNDATIONS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT/ENGINEER.</p> <p>2.02 PROTECT SUB-GRADE UNDER ALL FOOTINGS AND SLABS ON GRADE FROM FREEZING DURING CONSTRUCTION.</p> <p>2.03 PRESUMPTIVE SOIL BEARING CAPACITY IS 3,000 PSF ON UNDISTURBED SOIL. ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL. THE BOTTOM OF FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE UNLESS NOTED OTHERWISE ON THE DRAWINGS. THE CONTRACTOR IS TO VERIFY FROST DEPTH BASED UPON LOCAL CONDITIONS.</p> <p>2.04 NO EXCAVATIONS SHALL BE MADE WHOSE DEPTH BELOW THE FOOTING IS GREATER THAN HALF THE HORIZONTAL DISTANCE FROM THE NEAREST EDGE OF THAT FOOTING.</p> <p>2.05 ALL BACKFILL AT STRUCTURES, SLABS, STEPS, AND PAVEMENTS SHALL BE CLEAR GRANULAR FILL. PLACE IN 8" LAYERS AND COMPACT TO 95% MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557-12 OR AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE BUILDING SITE SHALL BE KEPT DRY SO THAT NO EROSION OCCURS AT THE FOUNDATION.</p> <p>2.06 BACKFILLS AT LAWNS AND UNPAVED AREAS ARE TO BE FREE OF CLAY, ROCK OR GRAVEL LARGER THAN 2" IN ANY DIRECTION, DEBRIS, VEGETABLE MATTER, WASTE AND FROZEN MATERIALS. PLACE IN 12" LAYERS & COMPACT TO 90% MAX. DENSITY IN ACCORDANCE WITH ASTM D-1557-12 OR AS SPECIFIED IN THE GEOTECHNICAL REPORT.</p> <p>2.07 ALL SLABS ON GRADE SHALL BEAR ON MECHANICALLY COMPACTED CRUSHED STONE CAPABLE OF SUPPORTING 2000 PSF.</p> <p>2.08 BACKFILL SHALL BE BROUGHT UP EQUALLY ON EACH SIDE OF WALLS WHEREVER THIS CONDITION OCCURS.</p> <p>2.09 DO NOT BACKFILL UNTIL WALLS HAVE CURED AND ARE ADEQUATELY BRACED.</p> <p>2.10 PROVIDE A 4" CRUSHED STONE BASE UNDER SLABS-ON-GRADE WITH A LAYER OF 6 MIL POLYETHYLENE WITH JOINTS LAPPED NOT LESS THAN 6". PLACED BETWEEN THE CONCRETE FLOOR AND THE BASE COURSE, OR OTHER APPROVED MATERIALS UNDER THE SLAB.</p> <p>2.11 THE CONTRACTOR SHALL HIRE A LICENSED ENGINEER TO PERFORM A SUBSURFACE SOIL INVESTIGATION TO DETERMINE WHETHER A HYDROSTATIC CONDITION EXISTS WHERE THE EXISTING GROUND-WATER TABLE IS ABOVE OR WITHIN 5 FEET BELOW THE ELEVATION OF THE LOWEST FLOOR LEVEL, WHERE SUCH FLOOR IS LOCATED BELOW THE FINISHED GROUND LEVEL ADJACENT TO THE FOUNDATION.</p> <p>2.12 WHERE A HYDROSTATIC PRESSURE CONDITION DOES NOT EXIST, DAMP PROOFING IN THE FORM OF A BITUMINOUS MATERIAL COATING SHALL BE APPLIED TO THE FOUNDATION WALLS. THE APPLICATION RATE SHALL BE THAT RECOMMENDED BY THE MANUFACTURER. ANY OF THE MATERIALS PERMITTED FOR WATERPROOFING (SEE SECTION 2.13 BELOW) ARE ACCEPTABLE.</p> <p>2.13 WHERE A HYDROSTATIC CONDITION DOES EXIST, WATERPROOFING SHALL BE APPLIED FROM THE BOTTOM OF THE WALL AND SHALL CONSIST OF TWO-PLY HOT MOPPED FELTS, NOT LESS THAN 6-MIL POLYVINYL CHLORIDE, 40-MIL POLYMER MODIFIED ASPHALT, 6-MIL POLYETHYLENE, 60-MIL SOLVENT-FREE LIQUID APPLIED SYNTHETIC RUBBER OR OTHER APPROVED METHODS OR MATERIALS CAPABLE OF BRIDGING NONSTRUCTURAL CRACKS. JOINTS IN THE MEMBRANE SHALL BE LAPPED AND SEALED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.</p>	<p>2.14 A DRAIN SHALL BE PLACED AROUND THE PERIMETER OF A FOUNDATION CONSISTING OF GRAVEL OR CRUSHED STONE CONTAINING NOT MORE THAN 10% MATERIAL THAT PASSES A NO. 4 SIEVE. THE DRAIN SHALL EXTEND A MINIMUM OF 12" BEYOND THE OUTSIDE EDGE OF THE FOOTING. THE THICKNESS SHALL BE SUCH THAT THE BOTTOM OF THE DRAIN IS NOT HIGHER THAN THE BOTTOM OF THE BASE UNDER THE FLOOR, AND THE TOP OF THE DRAIN IS NOT LESS THAN 6" ABOVE THE TOP OF THE FOOTING. THE TOP OF THE DRAIN SHALL BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. WHERE A DRAIN TILE OR PERFORATED PIPE IS USED, THE INVERT OF THE PIPE OR TILE SHALL NOT BE HIGHER THAN THE FLOOR ELEVATION. THE TOP JOINTS OR THE TOP OF THE PERFORATIONS SHALL BE PROTECTED WITH AN APPROVED FILTER MEMBRANE MATERIAL. THE PIPE OR TILE SHALL BE PLACED ON NOT LESS THAN 2" OF GRAVEL OR CRUSHED STONE AND COVERED WITH NOT LESS THAN 6" OF THE SAME MATERIAL, OR ANY OTHER APPROVED ALTERNATIVE DRAINAGE SYSTEM CONSISTENT WITH THE LOCAL BUILDING CODES.</p> <p>2.15 THE FLOOR BASE AND FOUNDATION PERIMETER DRAIN SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM COMPLYING WITH THE PLUMBING CODE. WHERE A SITE IS LOCATED IN WELL-DRAINED GRAVEL OR SAND GRAVEL MIXTURE SOILS, A DEDICATED DRAINAGE SYSTEM IS NOT REQUIRED IF APPROVAL BY THE LOCAL BUILDING CODE OFFICIAL.</p> <p>2.16 UNBALANCED BACKFILL HEIGHTS: WHERE A CONCRETE SLAB ON GRADE IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, THE UNBALANCED BACKFILL HEIGHT SHALL BE MEASURED FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB. THE MAXIMUM UNBALANCED BACKFILL HEIGHT FOR AN 8 INCH THICK BY 8 FEET TALL CONCRETE FOUNDATION WALL IS TO BE 7 FEET. FOR A 10 INCH THICK BY 9 FEET TALL CONCRETE FOUNDATION WALL IS TO BE 8 FEET. THE CONTRACTOR SHALL PROVIDE MINIMUM REINFORCING FOR 8" AND 10" CONCRETE FOUNDATION WALLS AS PER SECTION TABLE 1807.1.6.2.</p> <p>3.0 CONCRETE</p> <p>3.01 ALL CONCRETE FOUNDATION WALLS SHALL BE SELECTED AND CONSTRUCTED IN ACCORDANCE WITH THE MOST CURRENT ACI-318, ACI-332, PCA100, OR OTHER APPROVED STRUCTURAL STANDARDS.</p> <p>3.02 CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI FOR FOOTINGS, WALLS, FOUNDATIONS, AND OTHER VERTICAL CONCRETE WORK, 2,500 PSI FOR INTERIOR SLABS ON GRADE, AND 3,500 PSI FOR PORCHES AND STEPS EXPOSED TO THE WEATHER.</p> <p>3.03 ALL CONCRETE EXPOSED TO THE FREEZE-THAW CYCLES SHALL HAVE A 6% +/- 1% AIR-ENTRAINMENT AND CONFORM TO THE MOST CURRENT ACI 318.</p> <p>3.04 REINFORCING STEEL SHALL MEET THE REQUIREMENTS OF ASTM A615/A615M-12. THE MINIMUM YIELD STRENGTH SHALL BE 60,000 PSI (GRADE 60). LAP ALL REINFORCEMENT 62 DIAMETERS.</p> <p>3.05 IN ON-GRADE CONCRETE SLABS, NOT LOCATED ON UNDISTURBED SOILS OR COMPACTED FILL, WWR REINFORCEMENT WILL BE PROVIDED, AND SHALL BE SUPPORTED TO REMAIN IN PLACE FROM THE CENTER TO THE UPPER ONE-THIRD OF THE SLAB FOR THE DURATION OF THE CONCRETE PLACEMENT AND SHALL COMPLY WITH ASTM A1064/A1064M-15. LAP ALL WWR A MINIMUM OF 6 INCHES.</p> <p>3.06 PROVIDE SAWEED OR FORMED CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES. FOR SLABS ON GRADE, PROVIDE SAWEED OR FORMED CONTROL JOINTS IN LINE WITH THE MAIN BEARING AT 15-FOOT SPACING. PROVIDE SAWEED OR FORMED CONTROL JOINTS IN BASEMENT SLABS IN LINE WITH BASEMENT COLUMN BEARING.</p> <p>3.07 PROVIDE REINFORCEMENT IN FOOTING LOCATIONS WHERE THE SOIL IS ENGINEERED FILL. BARS SHALL BE (2) #4, AT THE BOTTOM WITH A MINIMUM OF 3" CONCRETE COVER, UNLESS NOTED OTHERWISE. CONCRETE REINFORCING BARS ARE NOT REQUIRED AT FOOTINGS BEARING ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 3,000 PSF UNLESS NOTED OTHERWISE ON THE DRAWINGS.</p> <p>3.08 PROVIDE HORIZONTAL REINFORCING FOR 8" CONCRETE FOUNDATION WALLS LESS THAN 8'-0" UNSUPPORTED HEIGHT A MINIMUM OF (1) #4 BAR WITHIN 12 INCHES OF THE TOP OF THE CONCRETE FOUNDATION WALL AND (1) #4 BAR AT THE MID-HEIGHT OF THE CONCRETE FOUNDATION WALL. FOR 10" CONCRETE FOUNDATION WALLS A MINIMUM OF (1) #4 BAR WITHIN 12" OF THE TOP OF THE CONCRETE FOUNDATION WALL AND (1) #4 BAR ONE-THIRD THE WALL HEIGHT DOWN FROM THE TOP AND (1) #4 BAR ONE-THIRD THE WALL HEIGHT UP FROM THE BOTTOM OF THE CONCRETE FOUNDATION WALL, UNLESS NOTED OTHERWISE. MINIMUM VERTICAL REINFORCING PER TABLE 1807.1.6.2.</p> <p>3.09 PROVISIONS MUST BE TAKEN TO PROTECT ALL CONCRETE WORK FROM FROST DAMAGE IN ACCORDANCE WITH ACI 301-10 WITH SPECIAL ATTENTION PAID TO FOOTINGS AND OTHER ON-GRADE CONSTRUCTION PRIOR TO BACKFILLING AND ENCLOSING THE BUILDING.</p> <p>3.10 ANCHOR BOLTS SHALL BE AT LEAST 1/2" IN DIAMETER AND EXTEND A MINIMUM OF 1 INCHES INTO CONCRETE OR GROUTED CELLS OF CONCRETE MASONRY UNITS. SPACED AT 6 FEET MAXIMUM ON CENTER AND LOCATED WITHIN 12 INCHES FROM THE ENDS OF EACH PLATE SECTION. MINIMUM OF (2) BOLTS PER BEARING PLATE SECTION. BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. APPROVED STRAP ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS, PROVIDED THEY ARE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. SIL PLATES SHALL BE PROTECTED AGAINST DECAY AND TERMITES WHERE REQUIRED BY SECTION 2304.12 OF THE IBC NJ EDITION.</p> <p>3.11 FOR GRADE BEAMS, CONCRETE BEAMS AND STRUCTURAL SLABS, LAP ALL TOP STEEL AT MID-SPAN AND LAP BOTTOM STEEL OVER SUPPORT.</p> <p>4.0 MASONRY (NOT USED)</p> <p>5.0 METALS, STRUCTURAL STEEL AND MISCELLANEOUS (NOT USED)</p> <p>6.0 CARPENTRY (LIGHT GAUGE METAL FRAMING)</p> <p>6.01 LIGHT GAUGE METAL STUD DESIGNATION SHOWN ON STRUCTURAL DRAWINGS ARE IN ACCORDANCE WITH THE STEEL STUD MANUFACTURERS ASSOCIATION (SSMA) "PRODUCT TECHNICAL INFORMATION". MANUFACTURER MUST SUBMIT LITERATURE INDICATING THAT THE MEMBERS SUPPLIED ARE MANUFACTURED TO CONFORM TO THE DETAILS AND STRENGTHS LISTED BY SSMA. MANUFACTURER AND/OR SUPPLIER SHALL SUBMIT SHOP DRAWINGS INDICATING FRAMING DETAILS, CONNECTIONS, BRACING, BRIDGING AND ALL OTHER APPURTENANCES OF MEMBERS AS SHOWN ON THE DRAWINGS.</p> <p>6.02 ALL STEEL STUDS SHALL BE MANUFACTURED OF ASTM A1003, STRUCTURAL GRADE, TYPE H, METALLIC COATED WITH A HOT-DIPPED GALVANIZED (G 60) COATING IN ACCORDANCE WITH ASTM A653. STEEL STUDS SHALL BE DESIGNED, MANUFACTURED AND INSTALLED IN ACCORDANCE WITH THE LATEST AMERICAN IRON AND STEEL INSTITUTE (AISI) SPECIFICATIONS AND SHALL COMPLY WITH ASTM C955, ALL STUDS, JOISTS, AND ACCESSORIES SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A653 AND HAVE THE FOLLOWING MATERIAL YIELD STRENGTHS: 54 MILS (16 GAGE) AND HEAVIER - FY = 50 KSI. 33 MILS, 43 MILS (20 GAGE, 18 GAGE RESPECTIVELY) - FY = 33 KSI.</p> <p>6.03 ALL WELDING OF LIGHT GAUGE STEEL FRAMING MUST BE DONE BY CERTIFIED WELDERS IN ACCORDANCE WITH AWS D1.3, SPECIFICATION FOR WELDING SHEET STEEL IN STRUCTURES.</p> <p>6.04 MAKE CONNECTIONS WITH SELF-TAPPING SCREWS OR WELDING SO THAT THE CONNECTIONS MEET OR EXCEED THE DESIGN LOADS. ALWAYS USE WELDS WHERE SHOWN ON DRAWINGS.</p> <p>6.05 CUT ALL LIGHT GAUGE STEEL FRAMING MEMBERS WITH SAWS OR SHEARS. FLAME CUTTING IS NOT PERMITTED.</p> <p>6.06 THE LIGHT GAUGE STEEL FRAMING SUPPLIER AND ERECTOR SHALL HAVE A MINIMUM 5 YEARS EXPERIENCE IN THE FABRICATION AND ERECTION OF LIGHT GAUGE STEEL FRAMING SYSTEMS.</p> <p>7.0 THERMAL AND MOISTURE PROTECTION</p> <p>7.01 THE FOLLOWING SPECIFICATION SHALL GOVERN WITH MODIFICATIONS AS SPECIFIED HEREIN: AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERING (ASHRAE) HANDBOOK OF FUNDAMENTALS.</p> <p>7.02 INSTALL FLASHING AND SHEET METAL IN COMPLIANCE WITH "ARCHITECTURAL SHEET METAL MANUAL" BY SMACNA.</p> <p>7.03 ALUMINUM FLASHING SHALL CONFORM TO ASTM B209-10, AND BE MINIMUM 0.024" THICK STANDARD BUILDING SHEET OF PLAIN MILL FINISH FOR CONCEALED FLASHING AND PAINTED FINISH AS SELECTED FOR EXPOSED FLASHING.</p> <p>7.04 GALVANIZED STEEL FLASHING SHALL CONFORM TO ASTM A653/A653M-11, 0.20% COPPER, 26 GAUGE (0.0179") ± ASTM A653/A653M-11, DESIGNATION G 90 HOT-DIP GALVANIZED, MILL PHOSPHATIZED.</p> <p>7.05 BACK PAINT FLASHING WITH BITUMINOUS PAINT, WHERE EXPECTED TO BE IN CONTACT WITH CEMENTITIOUS MATERIALS OR DISSIMILAR METALS.</p>	<p>7.06 PROVIDE FLASHING AT ALL ROOF TO WALL CONDITIONS, PROJECTIONS OF WOOD BEAMS THROUGH EXTERIOR WALLS, EXTERIOR OPENINGS, AND ELSEWHERE AS REQUIRED TO PROVIDE WATER/TIGHT/WEATHERPROOF PERFORMANCE.</p> <p>7.07 OPEN ROOF VALLEY FLASHING SHALL BE MINIMUM 26 GAUGE GALVANIZED STEEL SHEET OR 16 OUNCE COPPER AND SHALL EXTEND AT LEAST 12 INCHES FROM THE CENTER LINE EACH WAY AND SHALL HAVE THE FLOW LINE FORMED AS PART OF THE FLASHING. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4".</p> <p>7.08 PROVIDE FACED GLASS FIBER BATT INSULATION FOR FULL DEPTH OF WALL IN ALL EXTERIOR STUD WALLS WITH A MINIMUM INSULATION VALUE OF R-21 HIGH DENSITY FOR 2X6 WALLS AND R13 WITH AN R5 CONTINUOUS FOR 2X4 WALLS, UNLESS NOTED OTHERWISE.</p> <p>7.09 PROVIDE FACED GLASS FIBER BATT INSULATION WITH A MINIMUM INSULATION VALUE OF R-49 IN ROOF OR CEILING JOIST, OR AS NOTED OTHERWISE ON DRAWINGS. INSULATION IS TO EXTEND OUT AND OVER THE TOP PLATE OF THE EXTERIOR WALLS TO THE OUTSIDE FACE OF THE WALL.</p> <p>7.10 PROVIDE 2" RIGID FOAM INSULATION BOARD WITH A MINIMUM INSULATION VALUE OF R-10, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, 30" VERTICALLY AND 24" HORIZONTALLY AT THE INTERIOR OF THE FOUNDATION WALLS FOR CONCRETE SLAB-ON-GRADE, WHERE SHOWN ON CONSTRUCTION DOCUMENTS.</p> <p>7.11 FILL ALL WINDOW SHIM SPACES WITH CLOSED-CELL FOAM INSULATION.</p> <p>7.12 FIT INSULATION TIGHT WITHIN SPACES AND TIGHT TO AND BEHIND MECHANICAL AND ELECTRICAL SERVICES WITH INSULATION INDICATED ON THE PLANS. LEAVE NO GAPS OR VOIDS.</p> <p>7.13 PROVIDE FSK FACED R-49 INSULATION AT ALL USE GROUPS OTHER THAN RESIDENTIAL WHEN OPEN WEB ROOF OR FLOOR TRUSSES ARE INSTALLED WITH ACOUSTIC TILE CEILING BELOW. OR ANY OTHER LOCATION WERE INSULATION INSTALLED IS EXPOSED AND NOT CONCEALED AND IN SUBSTANTIAL CONTACT WITH THE SURFACE OF THE WALL, CEILING OR FLOOR FINISH.</p> <p>7.14 ALL DUCTS IN ATTIC SHALL BE INSULATED TO A MINIMUM OF R-8.</p> <p>7.15 ATTIC ACCESS PANELS, DOORS AND PULL DOWN STAIRS SHALL BE GASKETED AND WEATHERSTRIPPED AND ARE TO BE PERMANENTLY INSULATED TO MATCH THE INSULATION VALUE IN THE WALLS OR CEILINGS THAT THEY PENETRATE.</p> <p>8.0 DOORS, WINDOWS AND GLASS</p> <p>8.01 Reference standards for metal doors, wood doors and windows shall be as follows: a) Underwriter's Laboratories, Inc.; Building materials Directory b) National Fire Protection Assoc.: NFPA 80 Standards for Fire Doors and Other Opening Protectives. c) National Woodwork Manufacturer's Association: I.S., 1078: Wood Flush Doors. d) ASTM E283-04 & E331-00(2009).</p> <p>8.02 Each pane of glazing in locations which may be subject to human impact such as frameless glass doors, shower doors, tub enclosures, storm doors, swinging, sliding & bi-fold doors, adjacent to a door, in railings, adjacent to stairways, landings & ramps, in walls & fences adjacent to indoor & outdoor swimming pools, hot tubs & spas shall be safety glazing and shall pass the test requirements of the Safety Standard for Architectural Glazing Materials (CPSC 16 CFR 1201(2002)). Each pane of safety glazing material installed in hazardous locations shall bear a permanent identifying mark issued by an approved agency which specifies the marking agency, whether manufacturer or installer, and the test standard.</p> <p>8.03 All doors and windows opening to the exterior or unconditioned areas shall be fully weather stripped, with gasket or otherwise treated to limit air infiltration. All manufactured windows and sliding glass doors shall meet the air infiltration requirements of AAMA/WDMA/CSA 1011.5.2/A440-11, Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors tested under ASTM-E283-04 with a pressure differential of 1.57 pounds per square foot and shall be certified and labeled.</p> <p>8.04 Provide weatherproof threshold at all exterior doors.</p> <p>8.05 Window openings located greater than 12" above the finished grade or surface below, the top of the window sill shall be 24" minimum above the finished floor of the room in which the window is located.</p> <p>9.0 FINISHES</p> <p>9.01 INSTALL GYPSUM WALLBOARD IN ACCORDANCE WITH GA-216-13 & ASTM C840-11. COMPLY WITH APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.</p> <p>9.02 APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S DIRECTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.</p> <p>9.03 ALL EXTERIOR AND INTERIOR SURFACES SHALL RECEIVE THE SPECIFIED FINISH EXCEPT COLOR COORDINATED FACTORY FINISH SURFACES. TOP AND BOTTOM OF ALL WOOD DOORS ARE TO BE SEALED AND PAINTED.</p> <p>9.04 ALL SURFACES TO BE FINISHED SHALL BE CLEAN AND FREE OF FOREIGN MATERIALS (DIRT, GREASE, ASPHALT, RUST, ETC.)</p> <p>9.05 APPLICATION OF FINISHES SHALL BE IN A WORKMANLIKE MANNER PROVIDING A SMOOTH SURFACE. APPLICATION RATE, NUMBER OF COATS, AND PRIMER SHALL BE AS RECOMMENDED BY THE MANUFACTURER. APPLICATION MAY BE BY BRUSH OR ROLLER OR BY SPRAY IF PAINT IS FORMULATED FOR SPRAY APPLICATION.</p> <p>9.06 PROVIDE PAINT AND STAIN AS REQUIRED BY OWNER.</p> <p>9.07 PROVIDE FLOORING AND WALL BASE MATERIAL PER SCHEDULE. INSTALL IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.</p> <p>9.08 PROVIDE CERAMIC TILE AND ACCESSORIES COMPLYING WITH TILE COUNCIL OF AMERICA & ANSI A137.1, COLORS AND PATTERNS AS SELECTED BY THE OWNER FROM COLORS AND PATTERNS AVAILABLE FROM THE SELECTED MANUFACTURER.</p> <p>9.09 INSTALL CERAMIC TILE IN COMPLIANCE WITH PERTINENT RECOMMENDATIONS CONTAINED IN THE TILE COUNCIL OF AMERICAN "HANDBOOK FOR CERAMIC TILE INSTALLATION" LATEST EDITION, AND WITH PARTS OF ANSI A108 SERIES "SPECIFICATIONS FOR INSTALLATION OF CERAMIC TILE" THAT APPLY TO TYPES OF SETTING AND GROUTING MATERIALS AND TO METHODS INDICATED IN THE MANUFACTURER'S PRINTED INSTRUCTIONS. WHEN ON CENTER SPACING OF FLOOR JOISTS/TRUSSES EXCEEDS 16 INCHES, CONTRACTOR TO PROVIDE AN ADDITIONAL LAYER OF SUBFLOORING. GLUED AND NAILED IN THE OPPOSITE ORIENTATION OF THE PRIMARY SUBFLOORING, IN ADDITION TO THE UNDERLAYMENT REQUIRED BY THE TILE MANUFACTURER.</p> <p>9.10 SETTING MATERIAL MAY BE EITHER DRY SET MORTAR IN COMPLIANCE WITH ANSI-A118.1-99 OR ORGANIC ADHESIVE IN COMPLIANCE WITH ANSI A136-1-99, USING TYPE I WHERE EXPOSED TO PROLONGED WATER PRESENCE AND USING TYPE II AT ALL OTHER LOCATIONS.</p> <p>9.11 PROVIDE UL CLASSIFIED FIRE RATED GYPSUM WALLBOARD, TYPE X, CLASS 1, IN COMPLIANCE WITH ASTM C1396/C1396M-2013 AS REQUIRED IN THE PROVISIONS OF THE APPLICABLE CODES AND AS INDICATED IN THE CONSTRUCTION DOCUMENTS.</p> <p>9.12 PROVIDE MOISTURE-RESISTANT AND MOLD-RESISTANT GYPSUM WALLBOARD, TYPE VII, GRADE W OR X AS REQUIRED, CLASS 2, 1/2" THICK, IN COMPLIANCE WITH ASTM-C1396/C1396M-2013 AND ASTM D3213-12EL FOR MOLD RESISTANCE WITH A SCORE OF 10, AT ALL BATHROOM SHOWER/TUB ENCLOSURES AT WALLS AND CEILINGS.</p> <p>10.0 SPECIALTIES</p> <p>PROVIDE KITCHEN ACCESSORIES, BATH ACCESSORIES, HARDWARE AND MISCELLANEOUS ITEMS PER OWNER'S SCHEDULE AND SPECIFICATIONS. ALL ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S PUBLISHED INSTRUCTIONS AND APPROVED INSTALLATION DRAWINGS.</p>
---	--	--



DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C

WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
985-490-6941

ALL COPYRIGHTED MATERIALS DERIVED FROM THIS SHEET ARE THE INTELLECTUAL PROPERTY OF BLD INC. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF THE OWNER OF BLD INC. IS STRICTLY PROHIBITED. UNAUTHORIZED USE OF THESE FILES IS STRICTLY PROHIBITED. PROJECT AND DESIGNEE LOCATION IS NOT ALLOWED.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

PROJECT ADDRESS

5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536

APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUE FOR PLAN CHECK

10/07/2024

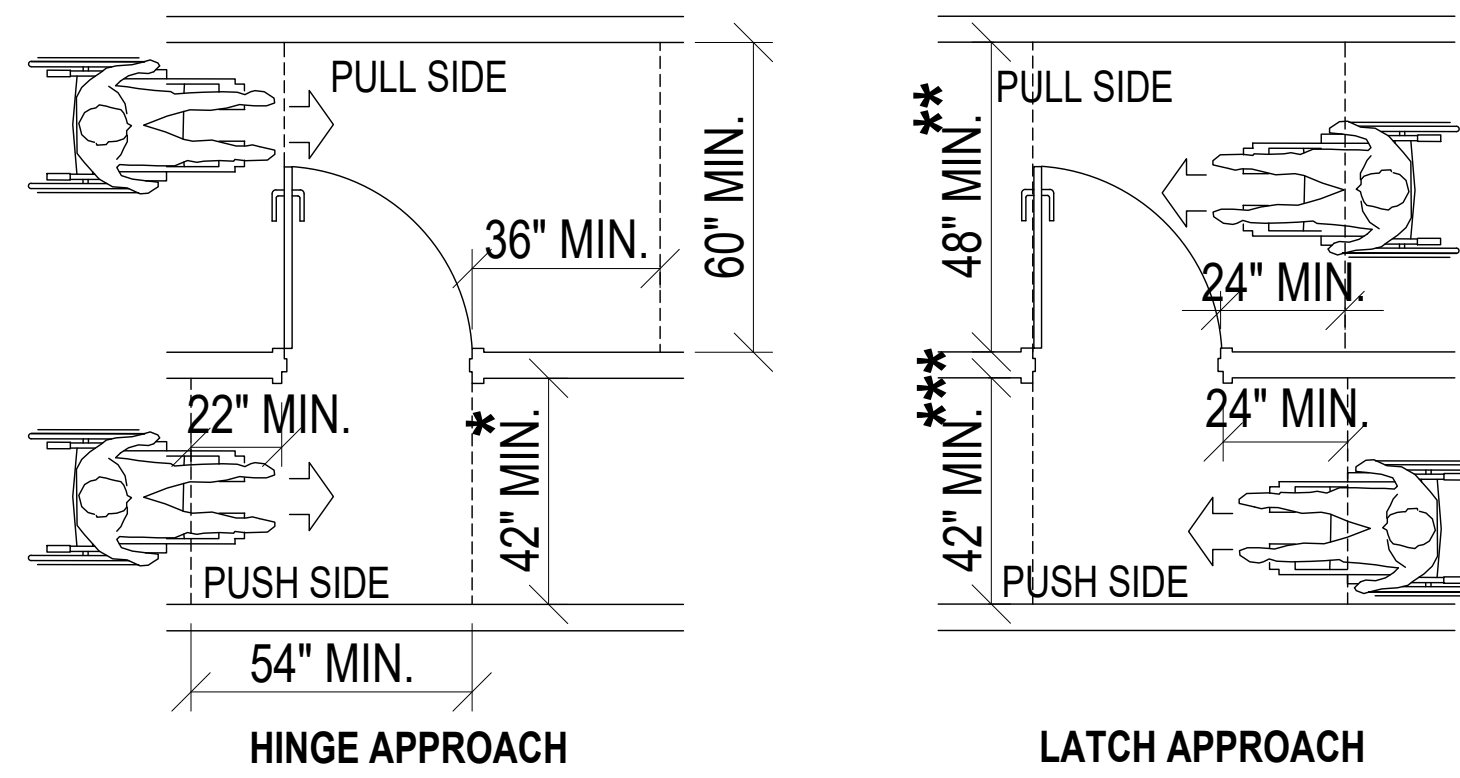
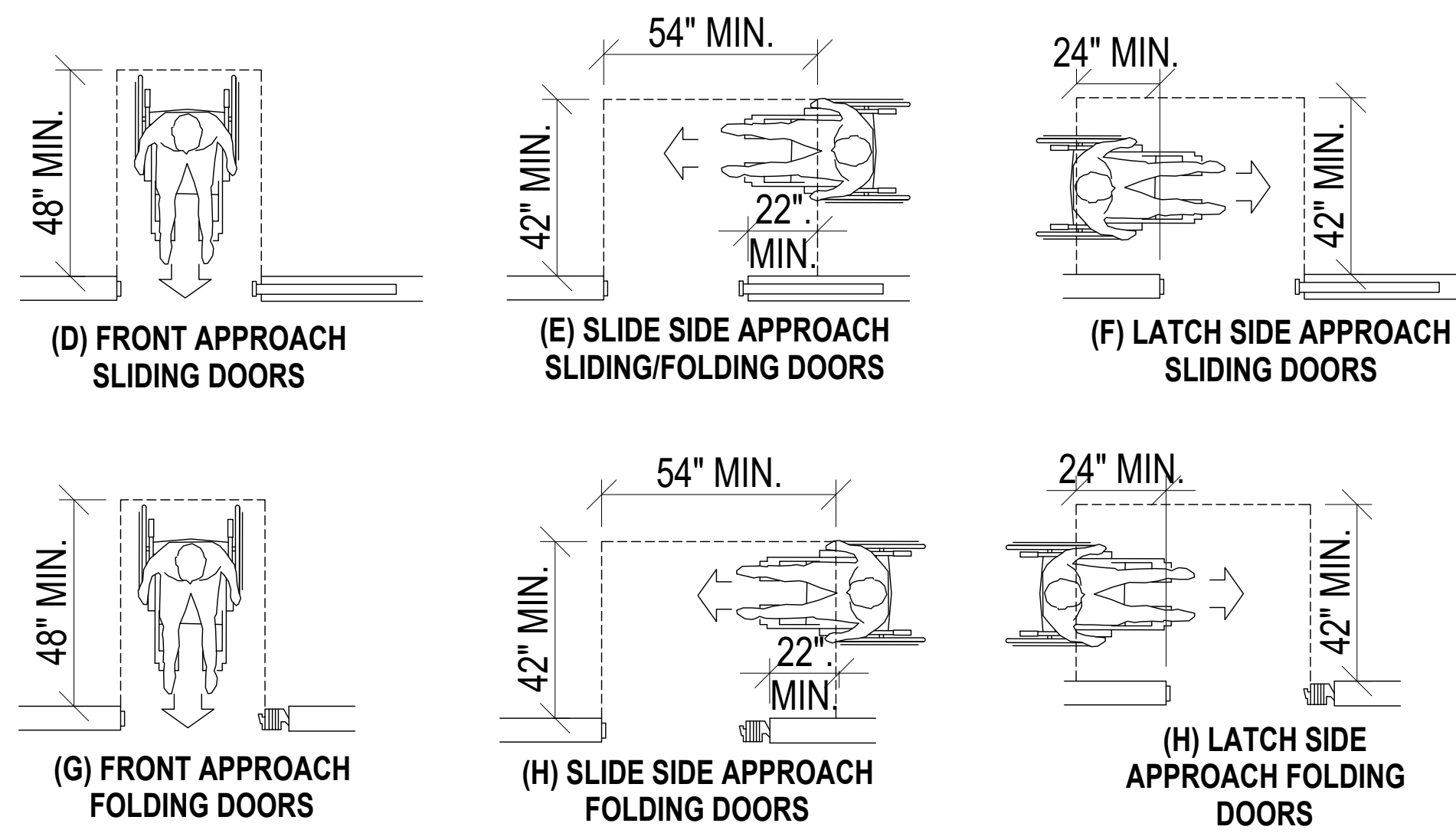
DRAWN BY: BL

CHECKED BY: BL

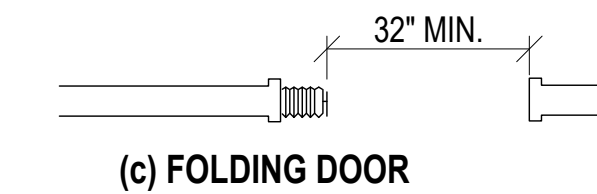
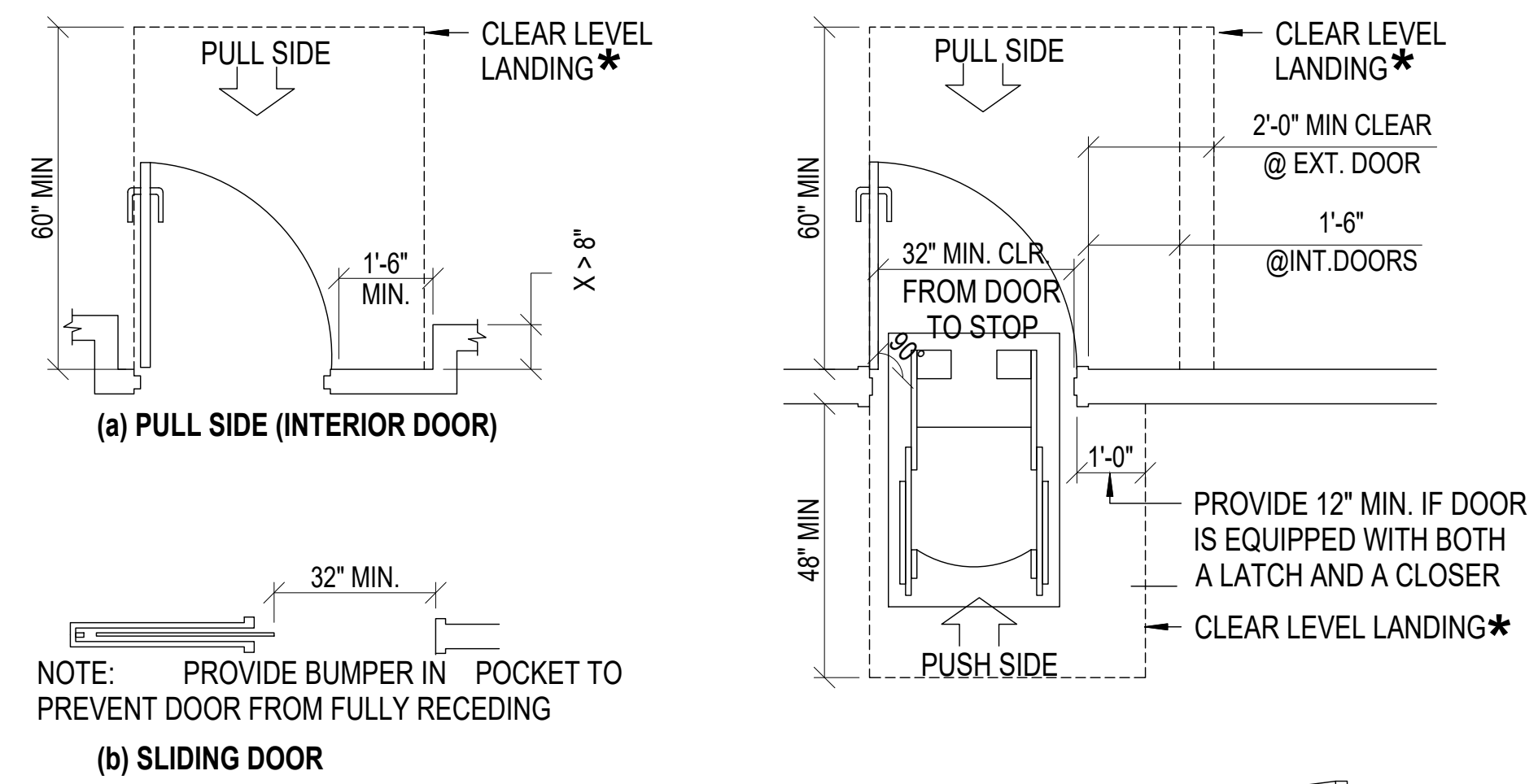
DATE: 09/20/2024

GENERAL NOTES

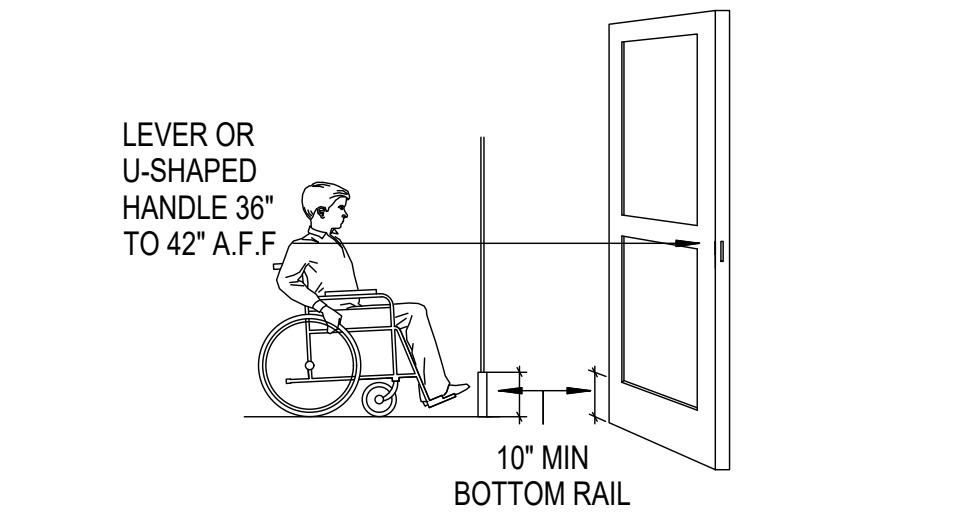
G-0.03



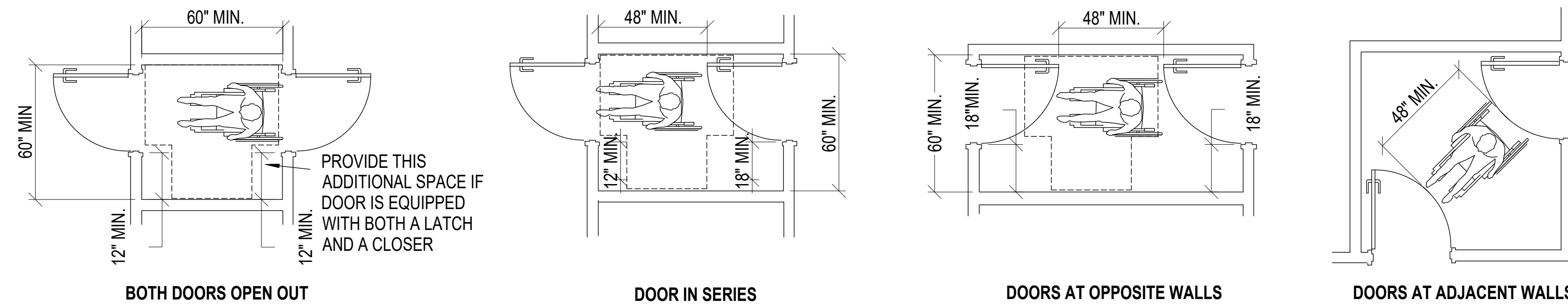
NOTE: ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCES FOR FRONT APPROACHES
 * 48" MIN. IF DOOR HAS BOTH A LATCH AND A CLOSER
 ** 54" MIN. IF DOOR HAS A CLOSER
 *** 48" MIN. IF DOOR HAS A CLOSER



*NOTE: 2% MAX SLOPE AT EXTERIOR LANDINGS ONLY

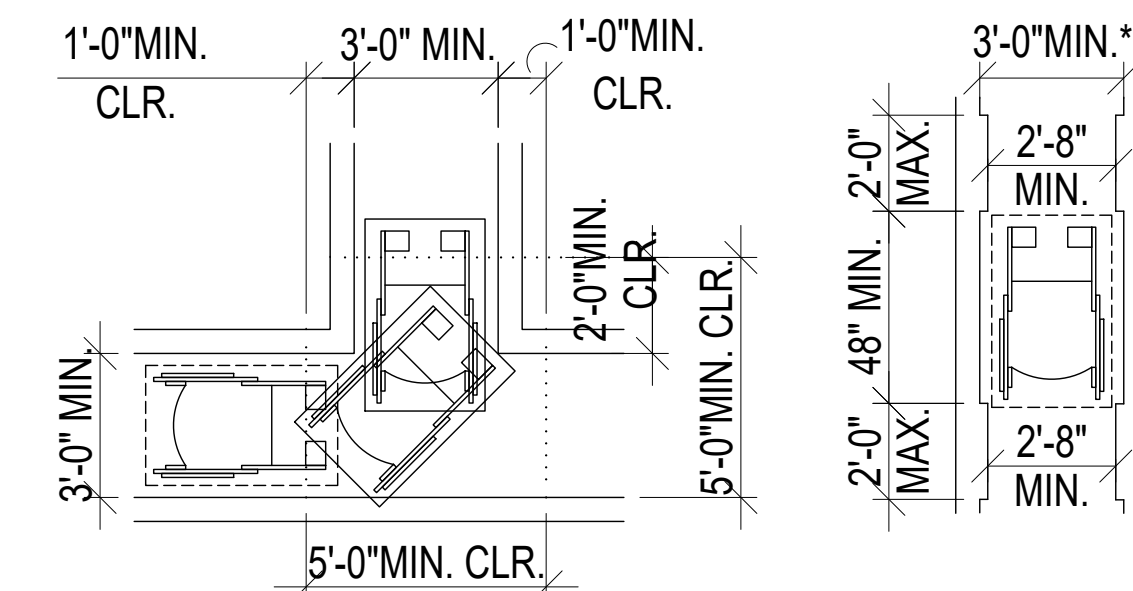


ACCESSIBLE DOOR CLR- SIDE APPROACH **5**
NTS



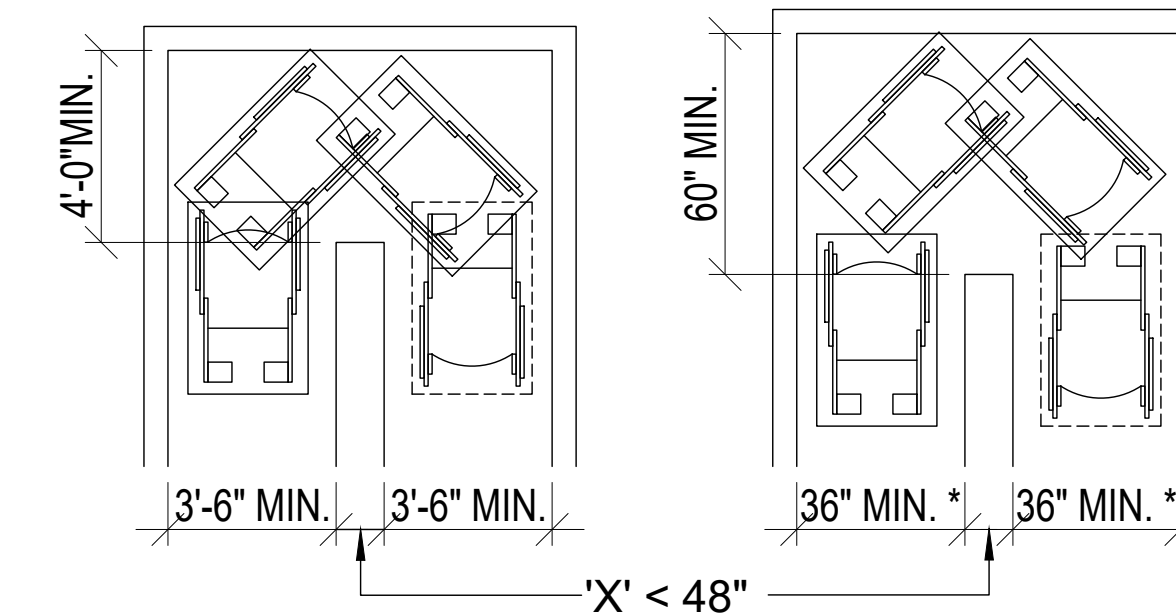
NOTES: FOR DOORS SERVING OTHER THAN A REQUIRED EXIT STAIRWAY

ACCESSIBLE DOOR CLR-FRONT APPROACH **2**
NTS



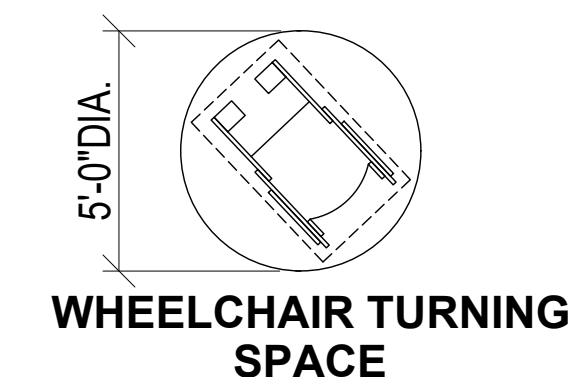
T-SHAPE 180°
TURNS

MINIMUM CLEAR
WIDTH FOR SINGLE
WHEELCHAIR

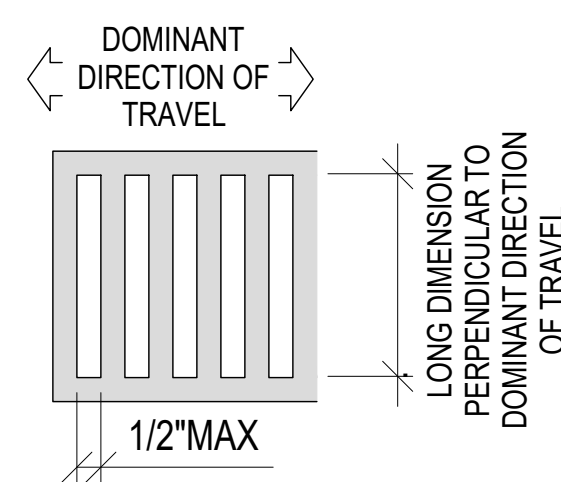
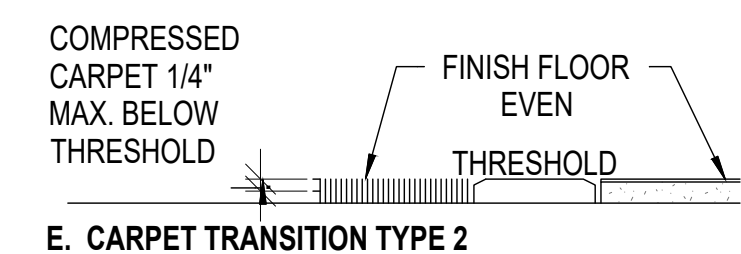
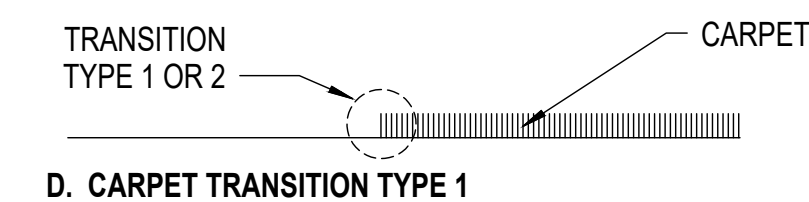
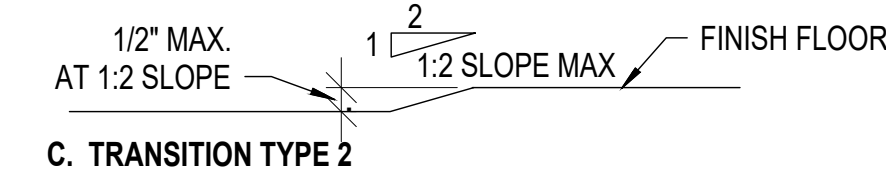
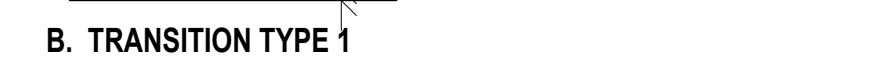
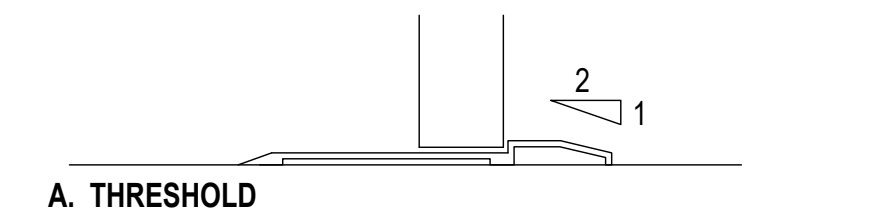


180° TURNS AROUND AN OBSTRUCTION

NOTE: ALSO REFER TO OCCUPANT LOAD FOR REQUIRED EGRESS WIDTH.



ACCESSIBLE CORRIDORS AND TURNING **1**
NTS

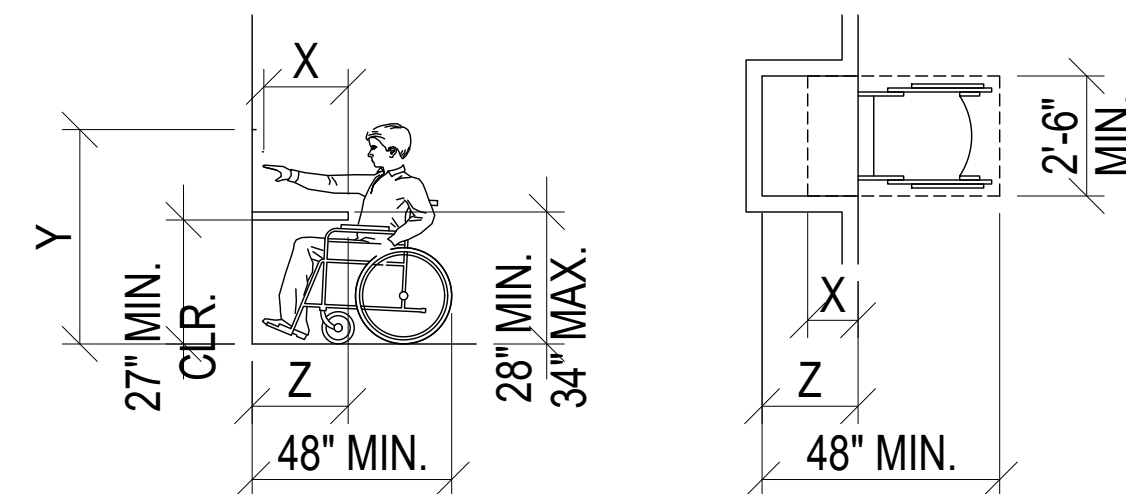


NOTE: OPENINGS SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2" DIAMETER, EXCEPT AT AN ELEVATOR DOOR THRESHOLD.

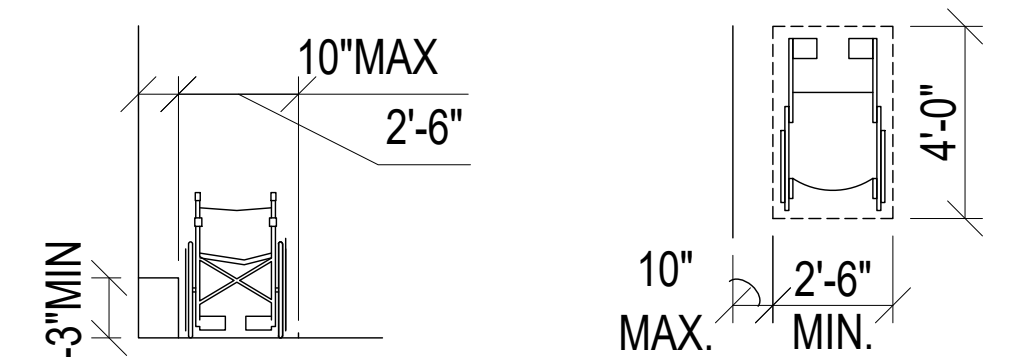
F. OPENINGS IN THE FLOOR

NOTE: CARPET SHALL BE SECURELY ATTACHED; HAVE A FIRM CUSHION, PAD OR BACKING OR NO CUSHION OR PAD; AND HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL-CUT PILE OR LEVEL-CUT/JUNCUT PILE TEXTURE. THE MAXIMUM PILE HEIGHT SHALL BE 1/2 INCH

FLOOR TRANSITIONS **6**
NTS

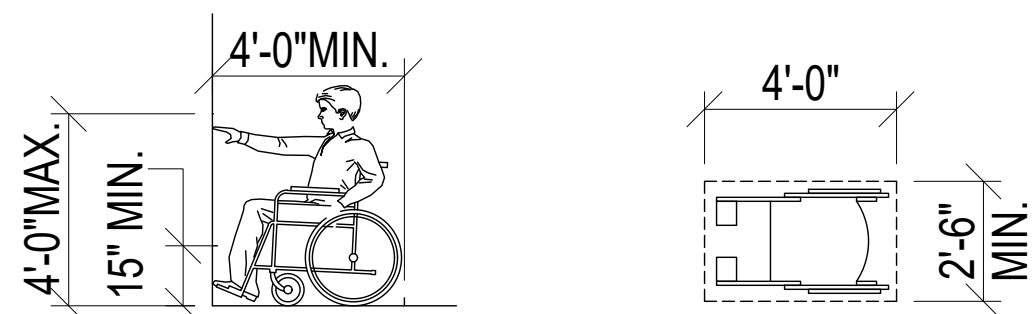


MAXIMUM FORWARD REACH OVER AN OBSTRUCTION



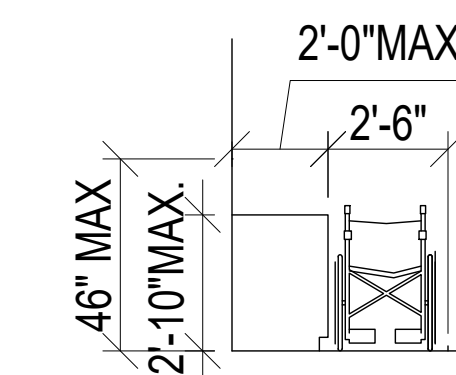
HIGH AND LOW
SIDE REACH LIMITS

CLEAR FLOOR SPACE
PARALLEL APPROACH



HIGH FORWARD REACH

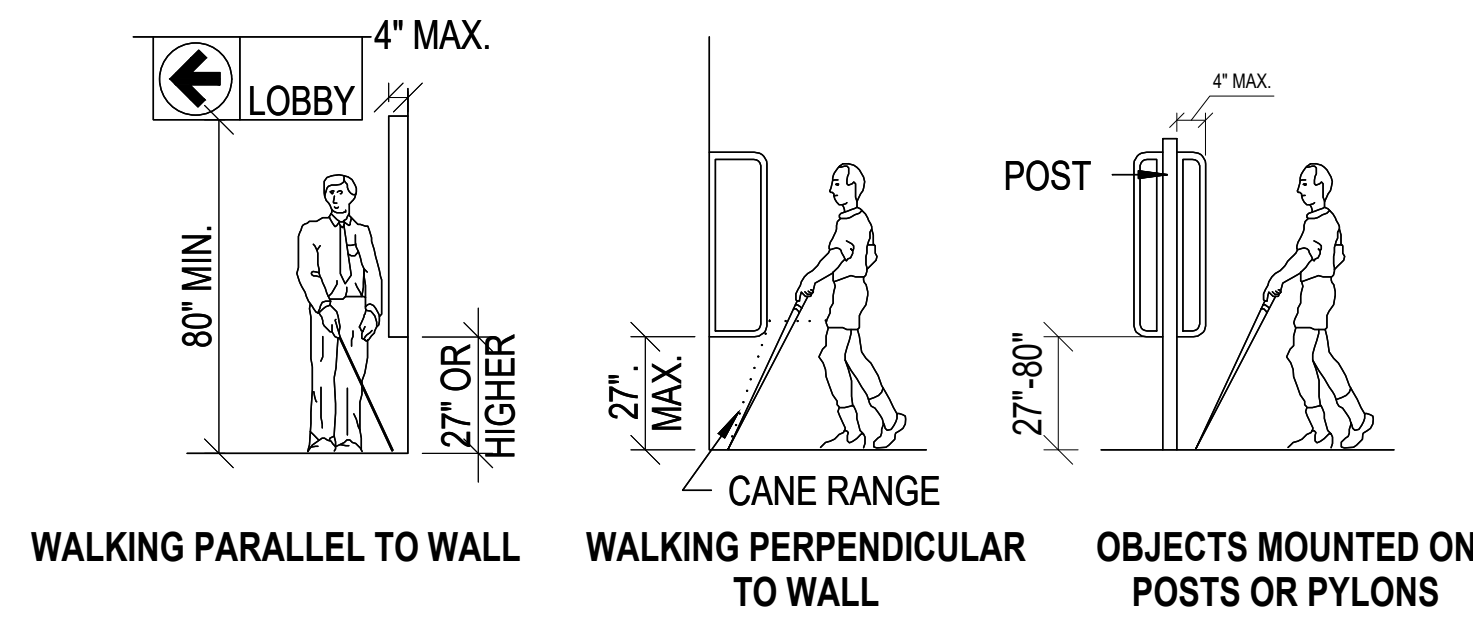
NOTE: X SHALL BE LESS THAN OR EQUAL TO 25 INCHES. Z SHALL BE GREATER THAN OR EQUAL TO X. WHEN X IS LESS THAN 20 INCHES, THEN Y SHALL BE 48 INCHES MAXIMUM. WHEN X IS 20 TO 25 INCHES, THEN Y SHALL BE 44 INCHES MAXIMUM.



NOTE: AT PASS THROUGH KITCHENS, A MIN. 40 INCH CLEAR PATH. AT 'U' SHAPED OR DEAD-END KITCHENS, 60 INCH MIN CLEAR. REACH DIAGRAMS APPLY TO EQUIPMENT AND REF/ FREEZER.

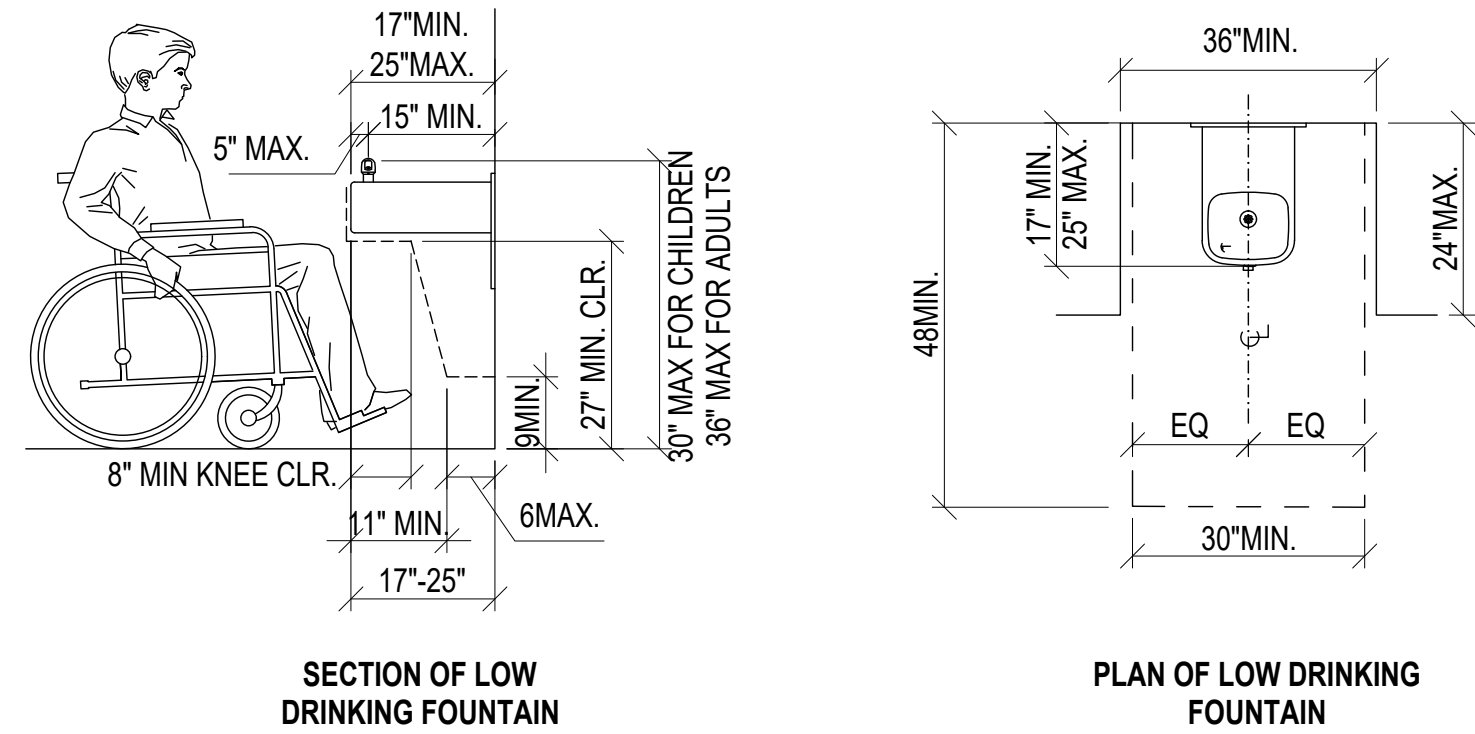
MAX. SIDE REACH OVER
AN OBSTRUCTION

ACCESSIBLE MINIMUM REACH **3**
NTS



WALKING PARALLEL TO WALL
WALKING PERPENDICULAR TO WALL
OBJECTS MOUNTED ON POSTS OR PYLONS

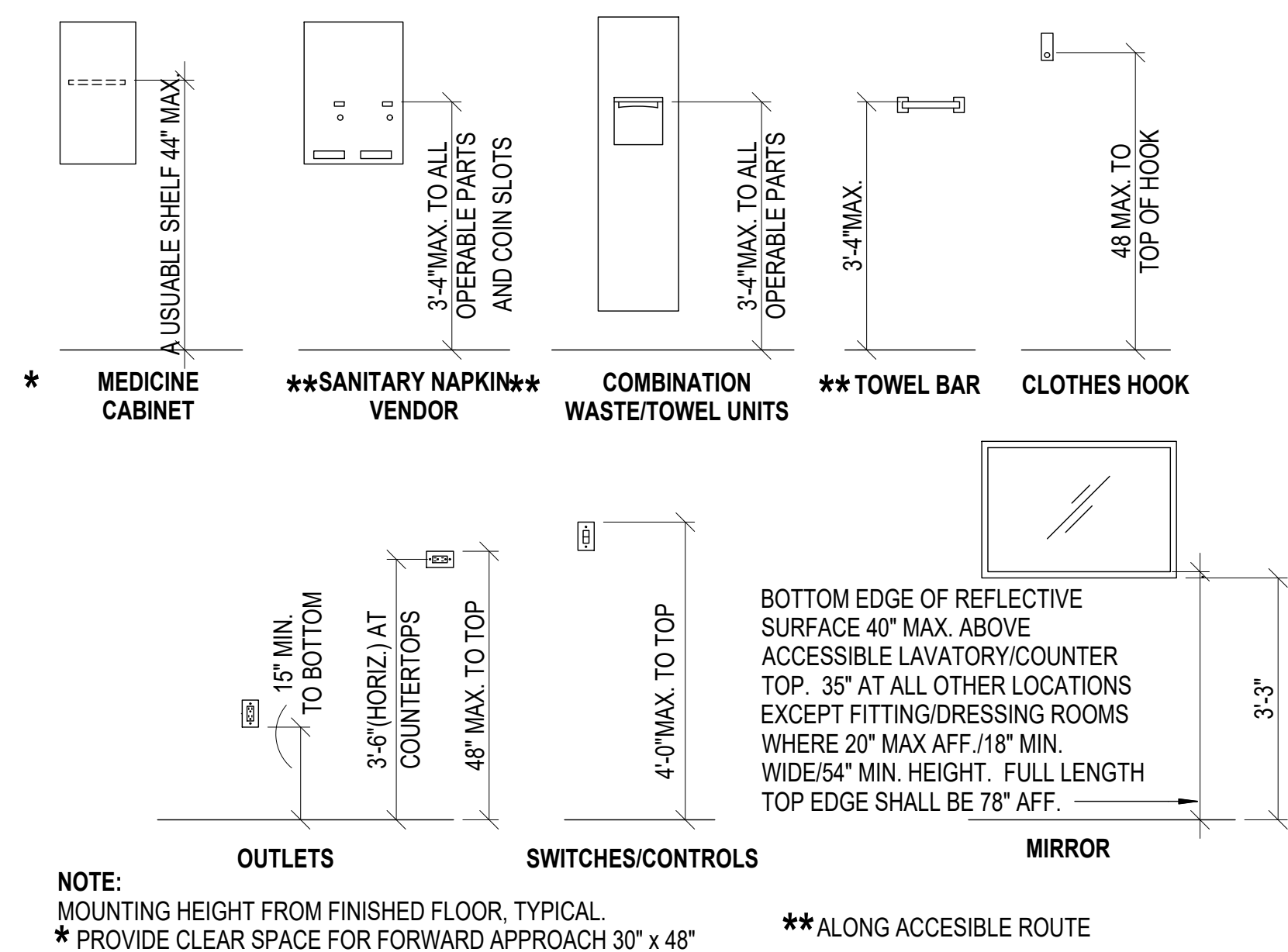
PROTRUDING HEIGHTS
NTS **9**



SECTION OF LOW DRINKING FOUNTAIN
PLAN OF LOW DRINKING FOUNTAIN

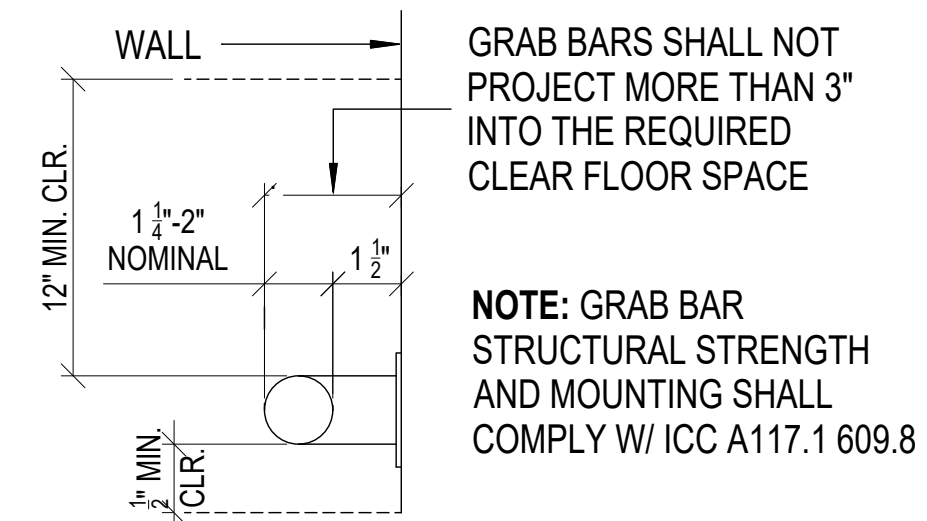
NOTE:
1. ALL DRINKING FOUNTAINS SHALL BE CONTAINED WITHIN ALCOVES OR COMPLETELY BETWEEN WING WALLS SO AS TO NOT ENCRUCH INTO THE PEDESTRIAN WAYS. WING WALLS SHALL PROJECT FROM THE WALL AND REST ON THE FLOOR OR FLOAT NO MORE THAN 6\"/>

ADA DRINKING FOUNTAIN
NTS **8**



NOTE:
MOUNTING HEIGHT FROM FINISHED FLOOR, TYPICAL.
* PROVIDE CLEAR SPACE FOR FORWARD APPROACH 30\"/>

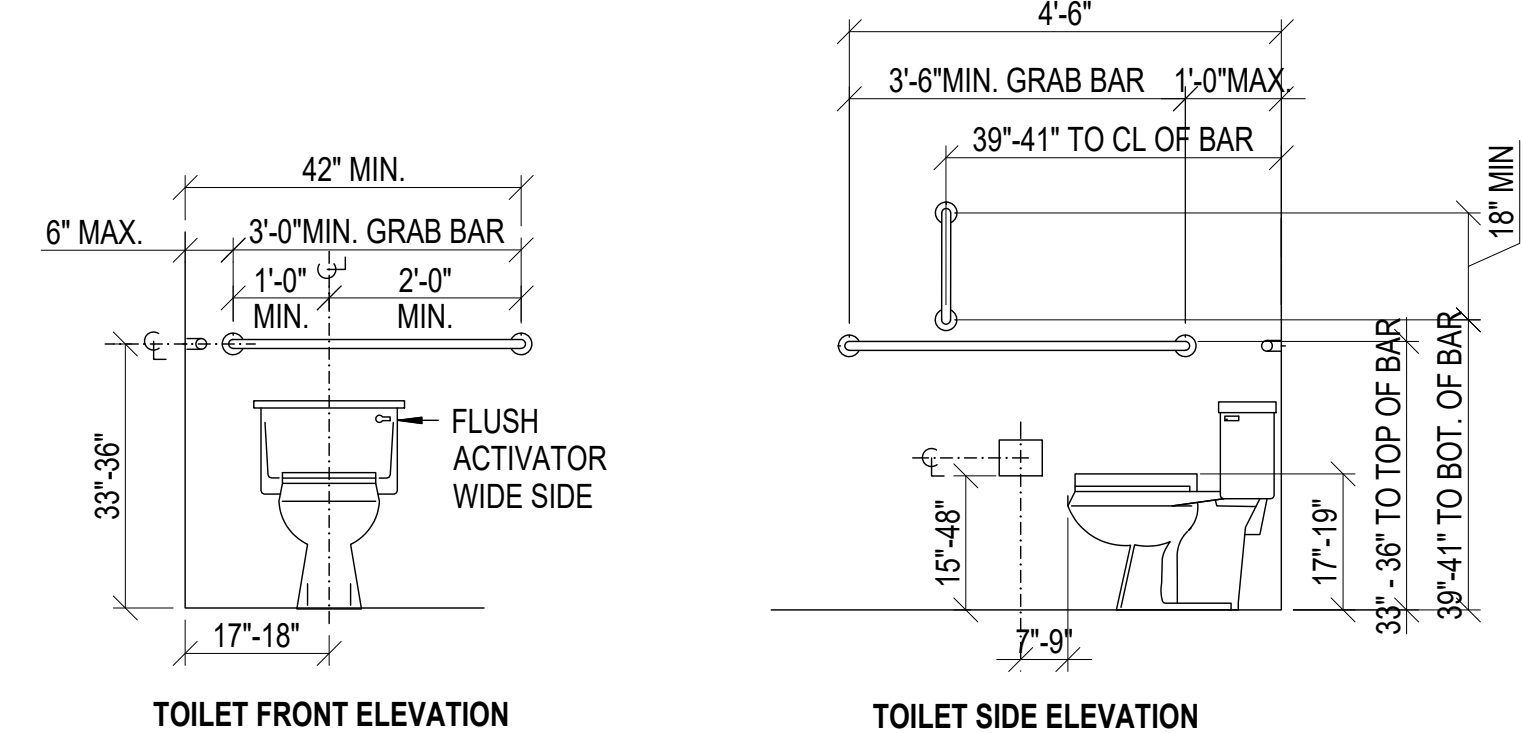
ACCESSIBLE MOUNTING HEIGHTS
NTS **7**



TYPICAL GRAB BAR SECTION

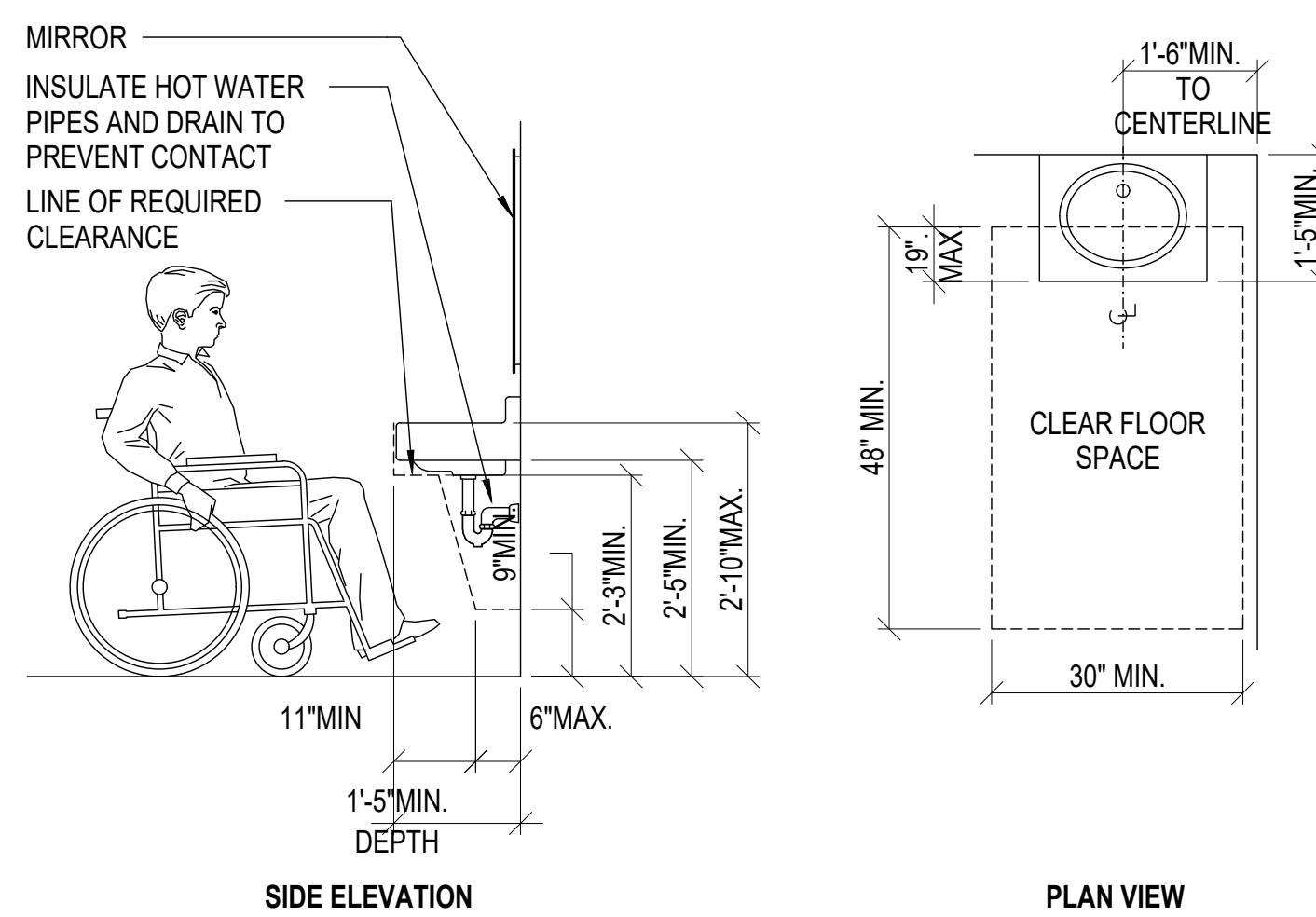
GRAB BARS SHALL NOT PROJECT MORE THAN 3\"/>

NOTE: GRAB BAR STRUCTURAL STRENGTH AND MOUNTING SHALL COMPLY W/ ICC A117.1 609.8



TOILET FRONT ELEVATION
TOILET SIDE ELEVATION

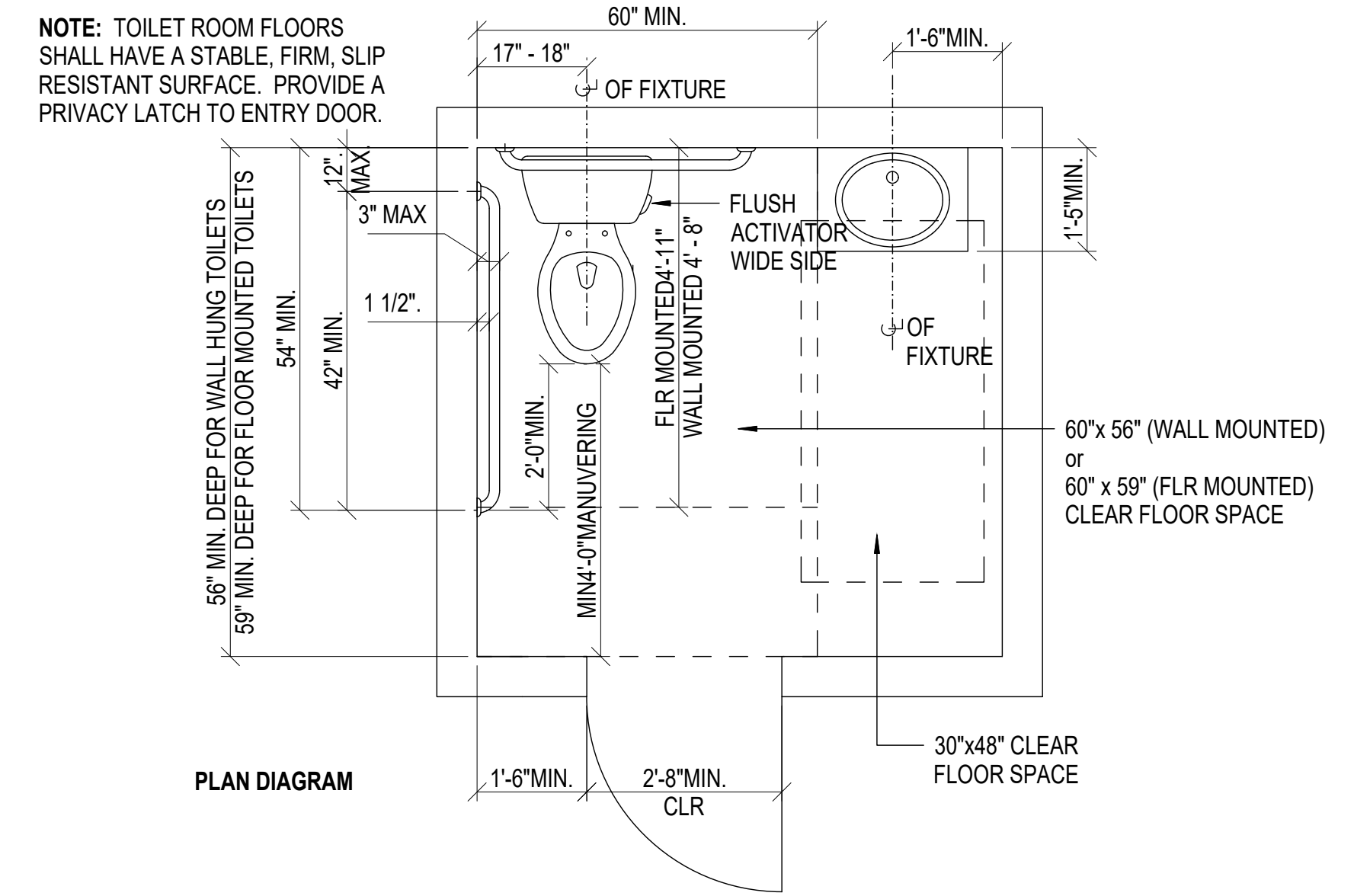
ADA GRAB BAR HEIGHTS
NTS **3**



SIDE ELEVATION
PLAN VIEW

NOTE: IF A MINIMUM 9 INCHES OF TOE CLEARANCE IS PROVIDED, A MAXIMUM OF 6 INCHES OF THE 48 INCHES OF CLEAR FLOOR SPACE REQUIRED AT THE FIXTURE MAY EXTEND INTO THE TOE SPACE

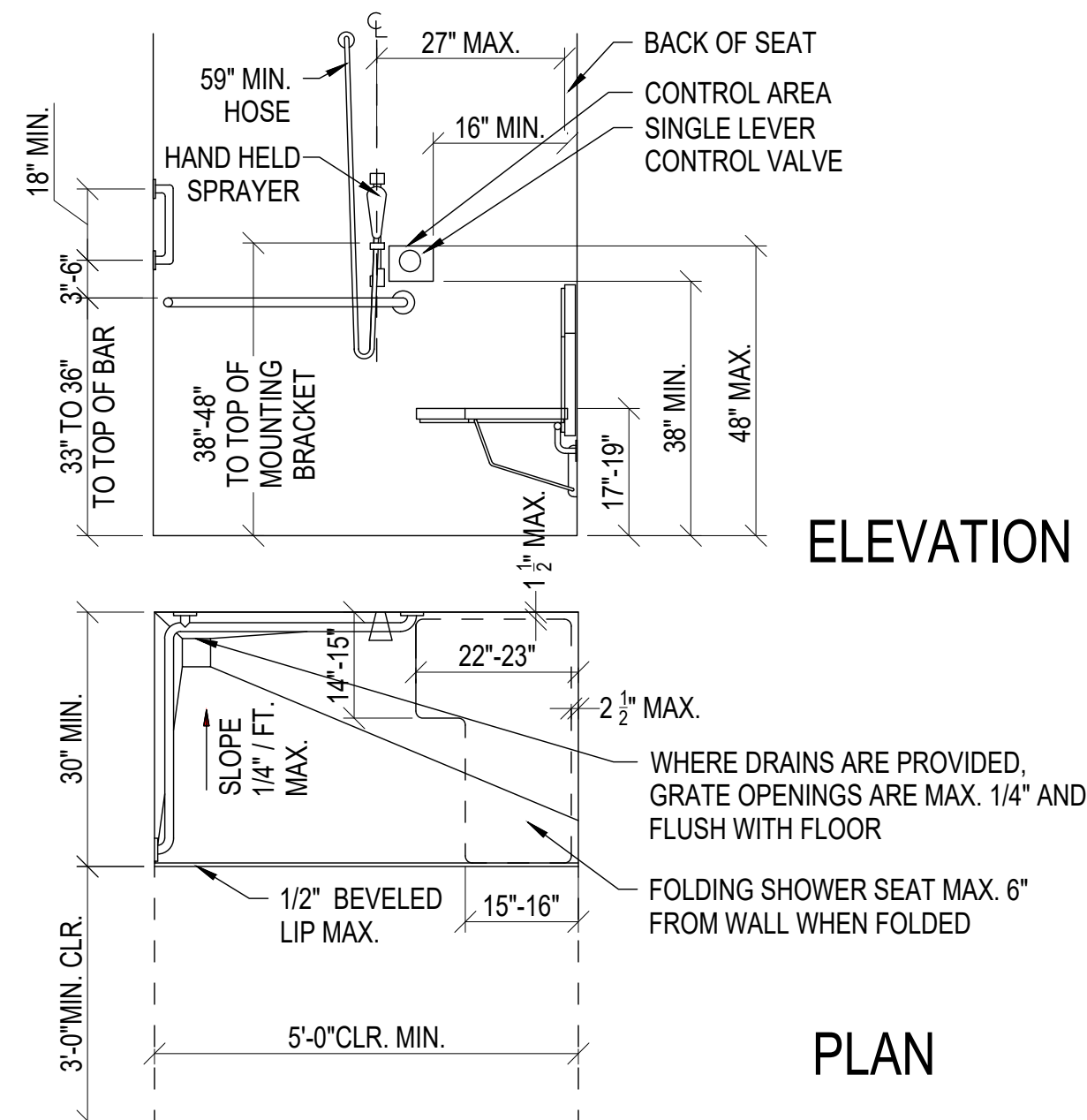
ADA LAVATORY
NTS **5**



PLAN DIAGRAM

NOTE: TOILET ROOM FLOORS SHALL HAVE A STABLE, FIRM, SLIP RESISTANT SURFACE. PROVIDE A PRIVACY LATCH TO ENTRY DOOR.

ADA BATHROOM PLAN
NTS **2**

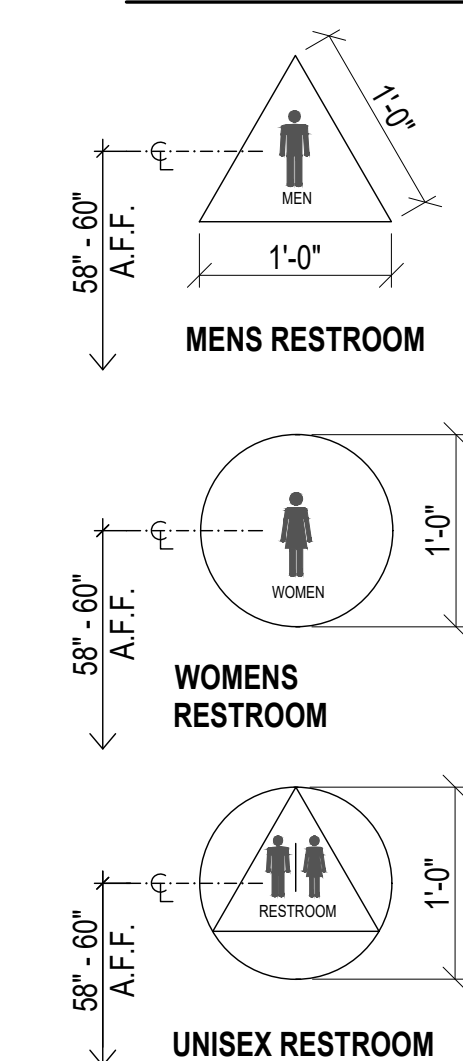


ELEVATION

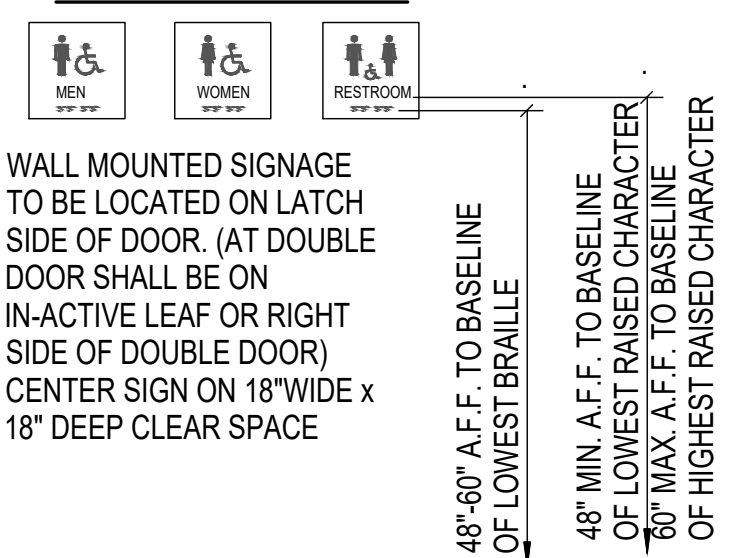
PLAN

ADA SHOWER
NTS **4**

DOOR MOUNTED SIGNAGE



WALL MOUNTED SIGNAGE



NOTE:
1. SIGNS SHALL HAVE NO SHARP EDGES. CORNERS WITH 1/8\"/>

ADA BATHROOM SIGNAGE
NTS **1**

GENERAL NOTES - EXISTING RCP

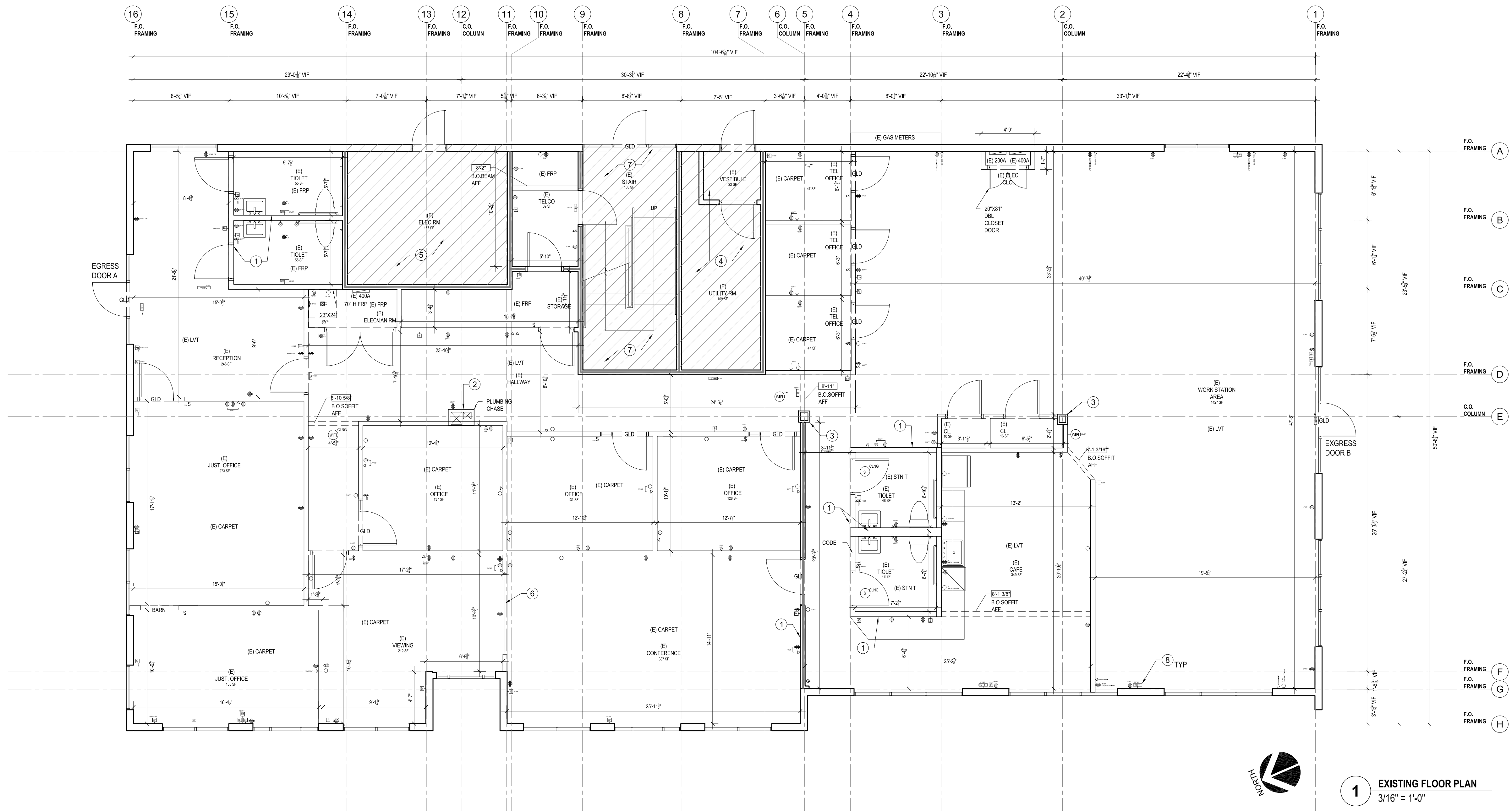
- A. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO WORK. CONTRACTOR TO ADVISE SHALL ANY DISCREPANCIES WITH DRAWING SHALL BE BROUGHT TO ATTENTION OF ARCHITECT AND ENGINEER FOR VERIFICATION PRIOR TO WORK

KEY NOTES - EXISTING FLOOR PLAN

- 1. (E) BATHROOM WALLS & (E) FIRE PARTITIONS EXTEND TO DECK VIF
- 2. (E) PLUMBING CHASE AND STRUCTURAL COLUMN, VIF IN FIELD
- 3. (E) STRUCTURAL COLUMN, VIF LOCATION AND DIMENSION
- 4. (E) COMMON SPRINKLER RISER ROOM, NOT IN SCOPE
- 5. (E) COMMON ELECTRICAL ROOM, NOT IN SCOPE
- 6. (E) SEE THRU WINDOW, 7'-2 1/2" W X 5'-4 1/2" H . CONFIRM W/ OWNER ON REUSE
- 7. (E) COMMON STAIRWAY, NO WORK
- 8. (E) POWER AND SIGNAL RECEPTACLES. SEE P&S PLAN FOR POTENTIAL REUSE ON (E) WALLS TO REMAIN AND EXTERIOR WALLS, TYP

LEGEND - EXISTING FLOOR PLAN

	NO PROPOSED WORK
	(E) WALL
	(E) FIRE PARTITION
	(E) EMERGENCY LIGHT
	(E) EMERGENCY EXIT SIGN
	(E) FIRE ALARM
	(E) ELEC PANEL
	(E) POWER AND SIGNAL
	(E) LIGHT SWITCHES
	(E) THERMOSTAT
	(E) CAPPED OUTLET
	(E) FLOOR DRAIN
	(E) CLEAN OUT
	(E) DRAIN
	(E) WATER SUPPLY
	(E) SPEAKER
	(E) WIFI RECEIVER
	(E) WATER HYDRANT
	(E) SINK FAUCET
	(E) WATER MAIN SHUT OFF



1 EXISTING FLOOR PLAN
3/16" = 1'-0"

DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585.490.6941

ALL COPYRIGHT AND LIABILITY IS RESERVED BY THE CLIENT AND THE ARCHITECT. NO PART OF THIS DRAWING OR ANY REPRODUCTION THEREOF SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AND DOES NOT EXTEND TO ANY OTHER WORK OR SERVICES PROVIDED BY THE ARCHITECT.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

PROJECT ADDRESS
5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536

APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUE FOR PLAN CHECK 10/07/2024

DRAWN BY: BL CHECKED BY: BL

DATE: 09/20/2024

EXISTING RCP

E-1.10

GENERAL NOTES - EXISTING RCP

A. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO WORK. CONTRACTOR TO ADVISE SHALL ANY DISCREPANCIES WITH DRAWING SHALL BE BROUGHT TO ATTENTION OF ARCHITECT AND ENGINEER FOR VERIFICATION PRIOR TO WORK

KEY NOTES - EXISTING RCP

1. EXISTING RETURN AIR DUCT ABOVE. VERIFY TRANSITION, SIZE, AND LOCATION IN FIELD.
 - 1.1. EXISTING OUTLINE OF SHAFT ABOVE.
 - 1.2. VERIFY CONNECTION TO EXISTING MAIN DUCT.
 - 1.3. VERIFY SIZE AND LOCATION OF EXISTING RISERS IN FIELD.
 - 1.4. VERIFY EXACT ROOF TOP UNITS RISER LOCATION IN FIELD.
2. EXISTING COMMON STAIRWAY AND UTILITY ROOMS. NO WORK
3. EXISTING PLUMBING CHASE WALL. VIF
4. EXISTING STRUCTURAL COLUMN. VIF
5. EXISTING RECESSED 2X4 FL. ACT LIGHTS
6. EXISTING HVAC RETURN / SUPPLY DIFFUSERS
7. EXISTING PENDANT FIRE SPRINKLERS WITH FINISH CAP
8. EXISTING 2X4 ACT TILES. TYP
9. EXISTING WATER MAIN SHUT-OFF AT PLENUM. 2 TOTAL, VIF

LEGEND - EXISTING RCP

	NOT IN SCOPE/ NO PROPOSED WORK
	(E) WALL
	(E) FIRE PARTITION
	(E) EMERGENCY EXIT SIGN
	(E) ACT CEILING ON 2X4 GRID
	(E) 2X2 DIFFUSER
	(E) 2X2 RETURN
	(E) EXHAUST
	(E) 2X4 ACT FLUORESCENT LIGHT
	(E) PENDANT LIGHT
	(E) PUCK LIGHT
	(E) SPRINKLER
	(E) CAPPED OUTLET
	(E) CLNG MOUNT SPEAKER
	(E) CLNG MOUNT WIFI RECEIVER
	(E) WATER MAIN SHUT OFF



1 EXISTING RCP
3/16" = 1'-0"

DEMOLITION NOTES

1.0 GENERAL

- 1.1 NO DEMOLITION SHALL BE PERFORMED WITHOUT A DEMOLITION PERMIT ISSUED BY THE TOWNSHIP OF PLAINSBORO, DEPARTMENT OF BUILDING AND SAFETY
- 1.2 COMPLETE ALL DEMOLITION WORK INDICATED ON THE DEMOLITION PLAN IN CONFORMANCE WITH ANSI STANDARDS FOR DEMOLITION. A10.6.
- 1.3 ALL DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH APPLICABLE PROVISIONS OF FEDERAL, STATE AND LOCAL LAWS, RULES, CODES, REGULATIONS, SAFETY ORDERS, COMMUNITY ORDINANCES. VERIFY LOCAL GUIDELINES AND RESTRICTIONS FOR DEMOLITION WORK, AND DISPOSAL LOCATIONS. CONTRACTOR SHALL AT ALL TIMES OBSERVE AND COMPLY WITH ALL SUCH REGULATIONS.
- 1.4 CONTRACTOR SHALL STRICTLY ADHERE TO ALL PROVISIONS OF THE LABOR CODE IN REGARDS TO WAGES, NONDISCRIMINATION, ETC.. ONLY COMPETENT WORKERS EXPERIENCED IN THEIR SPECIFIC TRADES SHALL BE EMPLOYED ON THE WORK. GENERAL INDUSTRY SAFETY ORDERS ISSUED BY THE STATE DIVISION OF INDUSTRIAL SAFETY SHALL BE POSTED OR OTHERWISE AVAILABLE ON THE PROJECT SITE.
- 1.5 CONTRACTOR SHALL MAINTAIN AND FURNISH CERTIFICATES OF WORKMEN'S COMPENSATION AND LIABILITY INSURANCE AS REQUIRED BY THE OWNER AND GOVERNING AGENCIES.
- 1.6 REMOVAL AND DISPOSAL OF ALL EXISTING ASBESTOS ENCOUNTERED DURING DEMOLITION SHALL BE BY LICENSED PROFESSIONALS EXPERIENCED IN THE HANDLING OF SAID MATERIALS AND SHALL BE PERFORMED IN COMPLIANCE WITH THE STATE OF NEW JERSEY GUIDELINES FOR ENVIRONMENTAL SAFETY AND PROTECTION. NOTIFY OWNER AND ARCHITECT OF THE PRESENCE OF ALL HAZARDOUS AND/OR TOXIC MATERIALS ENCOUNTERED ON THE PROJECT SITE.
- 1.7 MAINTAIN A SAFE, SECURE AND CLEAN PROJECT SITE THROUGHOUT THE COURSE OF WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY, ADEQUACY AND PERFORMANCE OF DEMOLITION METHODS AND MEANS
- 1.8 PERFORM ALL WORK IN A MANNER WHICH CREATES A MINIMAL DISRUPTION TO THE DAILY OPERATION OF THE ADJOINING COMMUNITY, AND PROPERTY OWNERS.
- 1.9 THE CONTRACTOR SHALL MAINTAIN ENCLOSED SANITARY FACILITIES FOR THE USE OF THE EMPLOYEES ENGAGED IN THE WORK IN A NEAT AND SANITARY CONDITION
- 1.10 THE CONTRACTOR SHALL NOT DISCHARGE SMOKE, DUST, OR ANY OTHER AIR CONTAMINANTS INTO THE ATMOSPHERE IN SUCH QUANTITY AS WILL VIOLATE THE REGULATIONS OF GOVERNING AUTHORITIES. NOTIFICATION AND APPROVAL OF THE GOVERNING AIR QUALITY MANAGEMENT DISTRICT IS REQUIRED
- 1.11 THE CONTRACTOR SHALL FURNISH, INSTALL, MAINTAIN AND REMOVE ALL TEMPORARY UTILITIES AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THE WORK.
- 1.12 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ADDITIONAL PUBLIC SAFETY ORDERS OR REQUIREMENTS WHICH MAY ARISE DURING THE COURSE OF WORK.

2.0 COORDINATION AND REVIEW

- 2.1 GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AND BE RESPONSIBLE FOR THE PLANNING AND EXECUTION OF ALL REQUIRED DEMOLITION.
- 2.2 THE STRUCTURAL INTEGRITY OF ALL PORTIONS OF THE EXISTING STRUCTURE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF WORK, PROVIDE BRACING AND SHORING AS REQUIRED. VERIFY AND PROVIDE ENGINEERING FOR TEMPORARY SUPPORT AS NECESSARY.
- 2.3 PRIOR TO THE COMMENCEMENT OF DEMOLITION, CONTRACTOR SHALL PROVIDE DETAILED INFORMATION ON METHODS, PROCEDURES, SEQUENCING, SCHEDULING, AND PROVISIONS FOR THE EXECUTION OF THE WORK FOR REVIEW BY THE OWNER AND ARCHITECT. CONTRACTOR TO PHASE DEMOLITION TO CAUSE MINIMAL IMPACT TO OTHER AREAS.
- 2.4 FIELD MARKINGS OF THE SCOPE OF DEMOLITION WORK INCLUDING INDICATIONS OF ITEMS TO BE REMOVED OR SALVAGED SHALL BE REVIEWED IN A WALK-THROUGH WITH THE OWNER AND ARCHITECT.
- 2.5 VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND SERVICES PRIOR TO COMMENCEMENT OF DEMOLITION. WHERE EXISTING UTILITIES OR SERVICES ARE ENCOUNTERED, MEASURES SHALL BE TAKEN TO PROTECT, SECURE, CAP, REMOVE AND/OR MAINTAIN SAME THROUGHOUT THE DEMOLITION AND CONSTRUCTION PHASE. NOTIFY OWNER AND ARCHITECT OF UNFORESEEN OR UNSATISFACTORY CONDITIONS ENCOUNTERED AND RESOLVE SAID CONDITIONS PRIOR TO PROCEEDING WITH RELATED WORK.
- 2.6 CONTRACTOR AND HIS EMPLOYEES SHALL LIMIT THEIR ACTIVITIES ON SITE TO THE PERFORMANCE OF THEIR WORK, VERIFY WITH OWNER ANY ADDITIONAL LIMITATIONS ON SITE ACCESS.
- 2.7 SECURE REQUIRED PERMITS AND/OR APPROVALS FROM GOVERNING AGENCIES FOR STORAGE, HAULING, DISPOSAL OF CONSTRUCTION DEBRIS.

3.0 PREPARATION

- 3.1 PROVIDE PROTECTION OF EXISTING STRUCTURES, IMPROVEMENTS, UTILITIES, EQUIPMENT AND FINISHES TO REMAIN AS INDICATED ON THE PLANS AND AS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK.
- 3.2 VERIFY EXISTING UTILITIES AND SERVICES TO REMAIN IN OPERATION DURING THE COURSE OF WORK. NOTIFY UTILITY COMPANIES IN ADVANCE OF REQUIRED SERVICE MODIFICATIONS.
- 3.3 SCHEDULE DISPOSAL AND ESTABLISH HAULING ROUTES IN ADVANCE TO PREVENT THE ACCUMULATION OF DEMOLITION DEBRIS. SPILLAGE RESULTING FROM HAULING SHALL BE REMOVED IMMEDIATELY.
- 3.4 MEASURES SHALL BE TAKEN AS REQUIRED TO PREVENT DAMAGE TO ADJOINING PROPERTIES AND IMPROVEMENTS PRIOR TO COMMENCEMENT OF THE WORK.
- 3.5 DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF SITE. EFFORT SHALL BE MADE TO RECYCLE REFUSE AND DEBRIS WHENEVER POSSIBLE. CONFORM WITH THE REQUIREMENTS OF THE TOWNSHIP OF PLAINSBORO BEST MANAGEMENT PRACTICES AS APPLICABLE.
- 3.6 MATERIALS, MACHINERY AND EQUIPMENT SHALL NOT BE STORED ON SITE BEYOND THE NECESSARY LENGTH OF TIME REQUIRED FOR USE IN THIS WORK.VERIFY STORAGE LOCATION WITH THE OWNER AND ARCHITECT. MATERIALS SHALL NOT BE STORED OR DEPOSITED WITHIN THE PUBLIC RIGHT OF WAY WITHOUT SPECIFIC APPROVAL FROM THE GOVERNING AGENCY.

4.0 EXECUTION

- 4.1 AT THE LIMITS OF DEMOLITION WORK PROVIDE NEAT, ORDERLY AND CLEAN JOINTS, LINES, AND EDGES OF SURFACES. REPAIR OR REPLACE ANY MATERIALS OR SURFACES TO REMAIN WHICH BECOME EXPOSED, OR DAMAGED AS A RESULT OF DEMOLITION WORK.
- 4.2 ITEMS INDICATED AS "TO BE SALVAGED" ON THE DEMOLITION PLANS OR IDENTIFIED IN OWNER/ARCHITECT WALK-THROUGH SHALL BE REMOVED WITH DUE CARE AND STORED FOR REUSE AS REQUIRED IN A LOCATION APPROVED BY THE OWNER AND ARCHITECT. PROVIDE AN INVENTORY OF SUCH ITEMS FOR COORDINATION OF REUSE IN THE PROJECT.
- 4.4 ADDITIONAL ITEMS SALVAGED FROM THE DEMOLITION WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DISPOSED OF AT HIS DISCRETION.
- 4.5 DO NOT ALLOW DEBRIS, DEMOLISHED PORTIONS OF THE STRUCTURE,HEAVILY LADEN OR OVERLOADED CONTAINERS OR VEHICLES TO DAMAGE PORTIONS OF THE EXISTING BUILDING OR SITE.
- 4.6 PROVIDE DIRT AND DUST CONTROL AND/OR BARRIERS THROUGHOUT THE COURSE OF WORK. CLEANING, SWEEPING, THE USE OF WATER AND/OR A DUST PALLIATIVE IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 4.7 NECESSARY EXTERMINATION WORK SHALL BE PERFORMED BY LICENSED PROFESSIONAL IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING AUTHORITIES.
- 4.8 THE USE OF EXPLOSIVES AND/OR MECHANICAL JACKHAMMERS SHALL BE PROHIBITED UNLESS SPECIFIC APPROVALS ARE OBTAINED FROM GOVERNING AGENCIES.
- 4.9 LEAVE ALL PORTIONS OF THE PROJECT SITE AND THE DEMOLITION AREA IN A SAFE, CLEAN, FREE OF RUBBISH OR DEBRIS, AND SANITARY CONDITION THROUGHOUT THE COURSE OF WORK TO THE SATISFACTION OF THE OWNER AND ARCHITECT. PROVIDE REGULARLY SCHEDULED CLEANING AS REQUIRED.
- 4.10 THE CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING IMPROVEMENTS, WHICH ARE DAMAGED AS A RESULT OF THEIR OPERATIONS AT NO ADDITIONAL COST TO THE OWNER. RESTORATION AND/OR REPLACEMENT SHALL BE AS NEAR AS REASONABLY POSSIBLE TO THE ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.

BLD.
ARCHITECTURE + DESIGN

DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C

WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585-490-6941

ALL COPYRIGHT AND INTELLECTUAL RIGHTS RESERVED ON THIS SHEET AND THE INTELLECTUAL PROPERTY OF BLD INC ANY REPRODUCTION, MODIFICATION, DISTRIBUTION, OR TRANSMISSION OF THIS SHEET OR THE CONTENTS OF BLD INC IS STRICTLY PROHIBITED. UNAUTHORIZED USE OF THESE PLANS EXCEPT FOR THE INTENDED PROJECT AND DESIGNER/LOCATION IS NOT ALLOWED.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

PROJECT ADDRESS
5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536

APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUE FOR PLAN CHECK 10/07/2024

DRAWN BY: BL CHECKED BY: BL

DATE: 09/20/2024

DEMO NOTES

D-0.00

DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
856-490-6941

ALL COPYRIGHT AND ILLUSTRATIONS DERIVED ON THIS SHEET ARE THE INTELLECTUAL PROPERTY OF BLD INC. ANY REPRODUCTION, MODIFICATION OR DISTRIBUTION WITHOUT THE WRITTEN CONSENT OF THE OWNERS OF BLD INC. IS STRICTLY PROHIBITED. UNAUTHORIZED USE OF THESE PLANS, EXCEPT FOR THE INTENDED PROJECT AND DESIGNATED LOCATION, IS NOT ALLOWED.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536

APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUE FOR
PLAN CHECK 10/07/2024

DRAWN BY: BL CHECKED BY: BL

DATE: 09/20/2024

DEMO PLAN

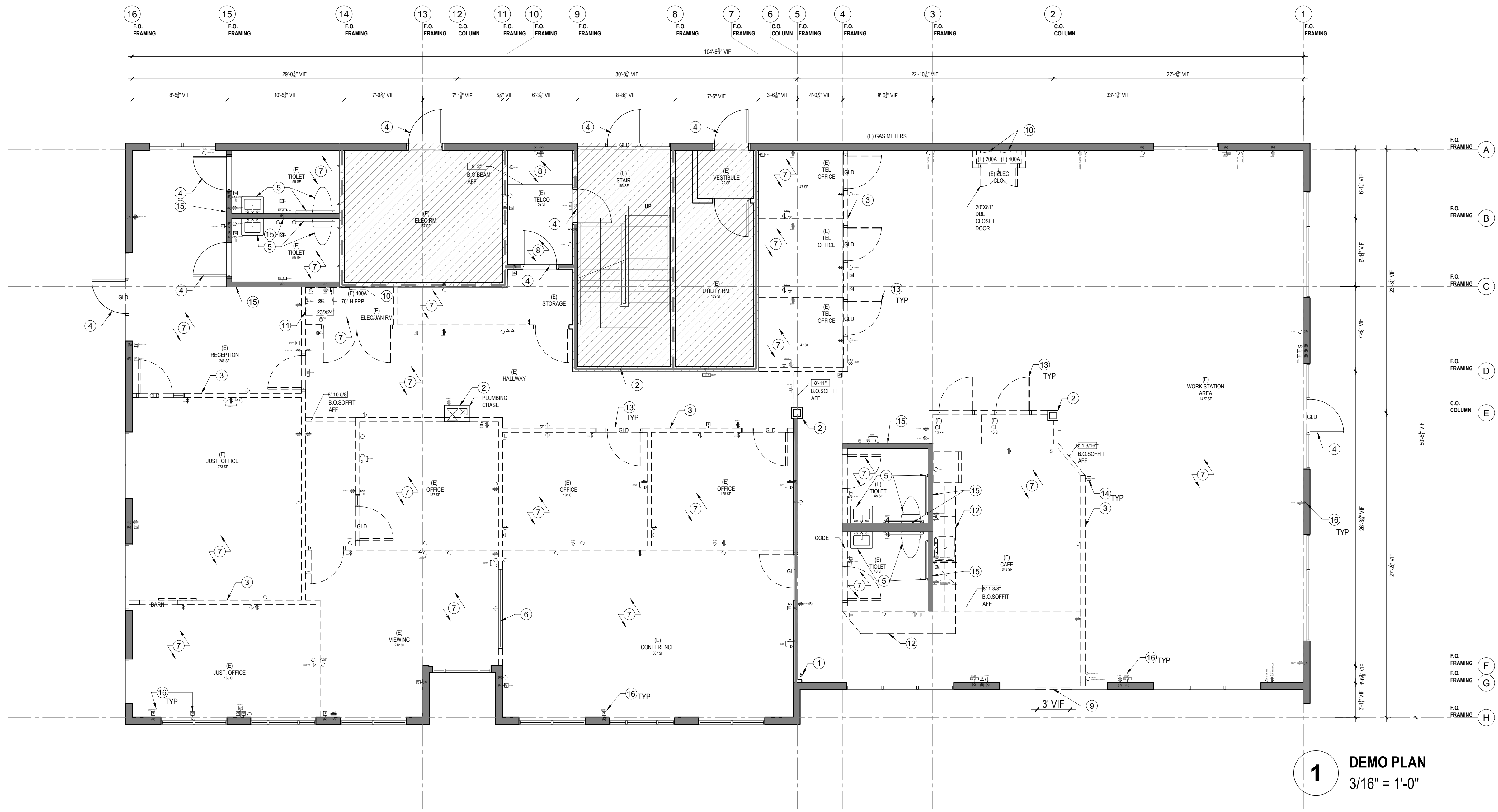
D-1.00

KEY NOTES - DEMO PLAN

- (E) CLASS A FIRE EXTINGUISHER TO BE REUSED AND LOCATED EVERY 75' MAX OR LESS. SEE FIRE FOR (N) LOCATION
- (E) STRUCTURAL COLUMN, PLUMBING CHASE, AND RATED WALLS TO REMAIN AND PROTECTED DURING WORK. NO MODIFICATION TO EXISTING STRUCTURE TYP
- (E) NON-STRUCTURAL WALL PARTITION AS DASHED TO BE REMOVED TYP. GC TO PATCH AND REPAIR ANY DAMAGED ADJ. WALL SCHEDULED TO REMAIN
- (E) EXTERIOR & INTERIOR DOORS AND HARDWARE TO REMAIN. VERIFY ADA COMPLIANCE
- (E) TOILET AND GRAB BARS TO BE REUSED IN COMPLIANCE TO ADA GUIDELINES. GC TO VERIFY. CONFIRM WITH OWNER ON PLUMBING FIXTURE REUSE
- (E) SEE-THROUGH SPY MIRROR TO REMAIN, PROTECTED, AND STORED FOR RE-USE. SEE FLOOR PLAN.
- (E) FLOOR FINISH (CARPET, FRP FLOORING, AND/OR LVT) TO BE REMOVED. ANY MASTIC, FOAM, OR OTHER INTERFERING OBJECTS TO BE REMOVED, GRINDED, CLEANED, AND PREPARED FOR (N) FLOOR FINISH. SEE FINISH SCHEDULE
- (E) FLOOR FINISH TO REMAIN
- (E) EXTERIOR 3' WINDOW PANEL TO BE REMOVED AND PREPARED FOR (N) GLAZED DOOR. (E) TRANSOM ABOVE TO REMAIN
- (E) ELECTRICAL PANELS TO REMAIN. SEE ELECTRICAL
- (E) WALL FRP FINISH PANEL TO BE REMOVED
- (E) MILLWORK AND PLUMBING FIXTURE AT KITCHEN TO BE REMOVED
- (E) INTERIOR DOORS TO BE REMOVED, STORED, AND REUSED. GC TO CONFIRM CONDITION AND SIZING W/ DOOR SCHEDULE. CONFIRM WITH OWNER
- (E) THERMOSTATS 4 TOTAL TO BE RELOCATED TYP. SEE MECH FOR NEW LOCATION. CONFIRM WITH OWNER ON (N) THERMOSTAT DEVICE
- (E) INTERIOR WALL TO REMAIN
- (E) POWER AND DATA RECEPTABLES LABELED "R" SCHEDULED FOR POTENTIAL REUSE. CONFIRM LOCATION, CONDITION, AND POWER REQUIREMENTS PER P&S PLAN FOR REUSE

LEGEND - DEMO PLAN

- EXISTING TO REMAIN, NOT IN SCOPE
- DASHED LINE INDICATES EXISTING WALL AND INTERIOR GLAZING TO BE DEMOLISHED
- EXISTING WALL, WINDOW, AND DOOR TO REMAIN AND PROTECTED DURING WORK
- DIMENSION MEASURED FROM EXISTING FINISH TO EXISTING FINISH
- EXISTING 1HR RATED PARTITION WALL TO REMAIN AND PROTECTED DURING WORK
- DASHED LINE INDICATES EXISTING INTERIOR AND EXTERIOR DOORS TO BE REMOVED, STORED, AND REUSED. GC TO CONFIRM CONDITION AND SIZING. CONFIRM WITH OWNER
- EXISTING INTERIOR ALUMINIUM FRAMED DOOR W/ GLASS PANEL
- EXISTING BARN SLIDING DOOR. CONFIRM REUSE WITH OWNER
- EXISTING ELECTRICAL/ DATA RECEPTACLE TO BE REUSED. SEE POWER & SIGNAL PLAN
- EXISTING ELECTRICAL/ DATA RECEPTACLE PREVIOUSLY CAPPED OFF, VIF. SEE POWER & SIGNAL PLAN FOR POTENTIAL REUSE



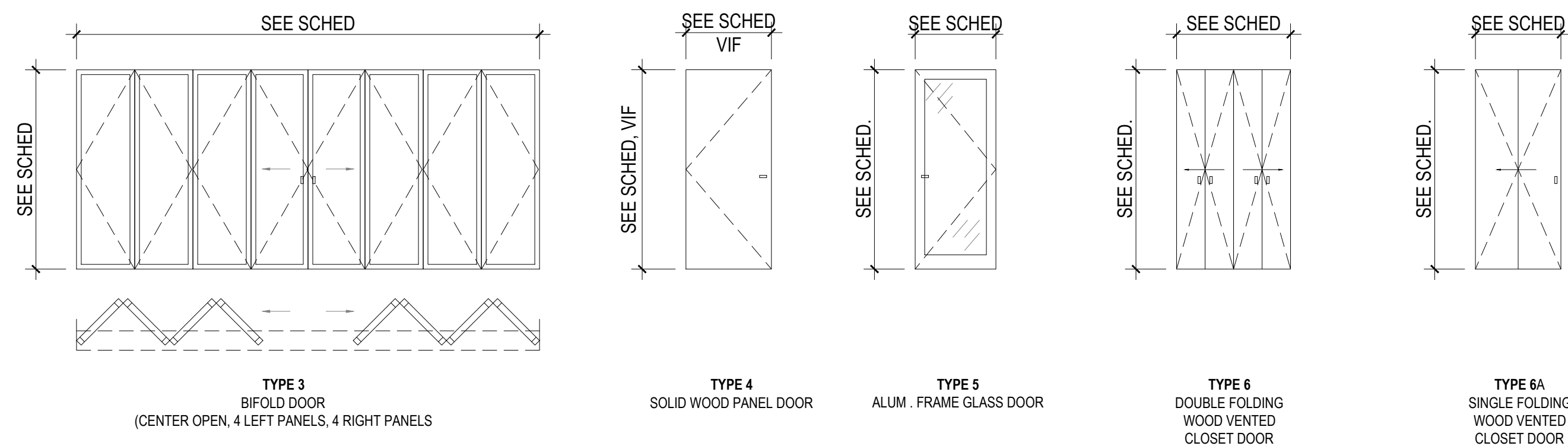
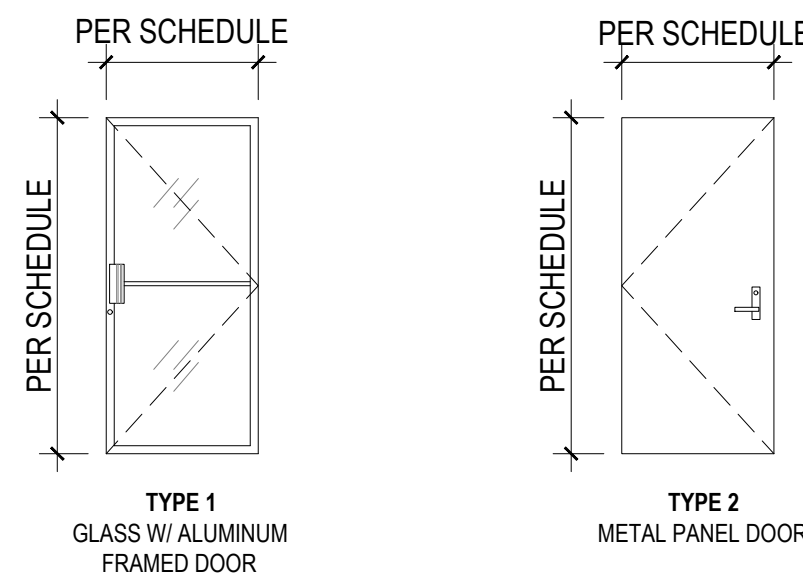
1 DEMO PLAN
3/16" = 1'-0"

DOOR SCHEDULE

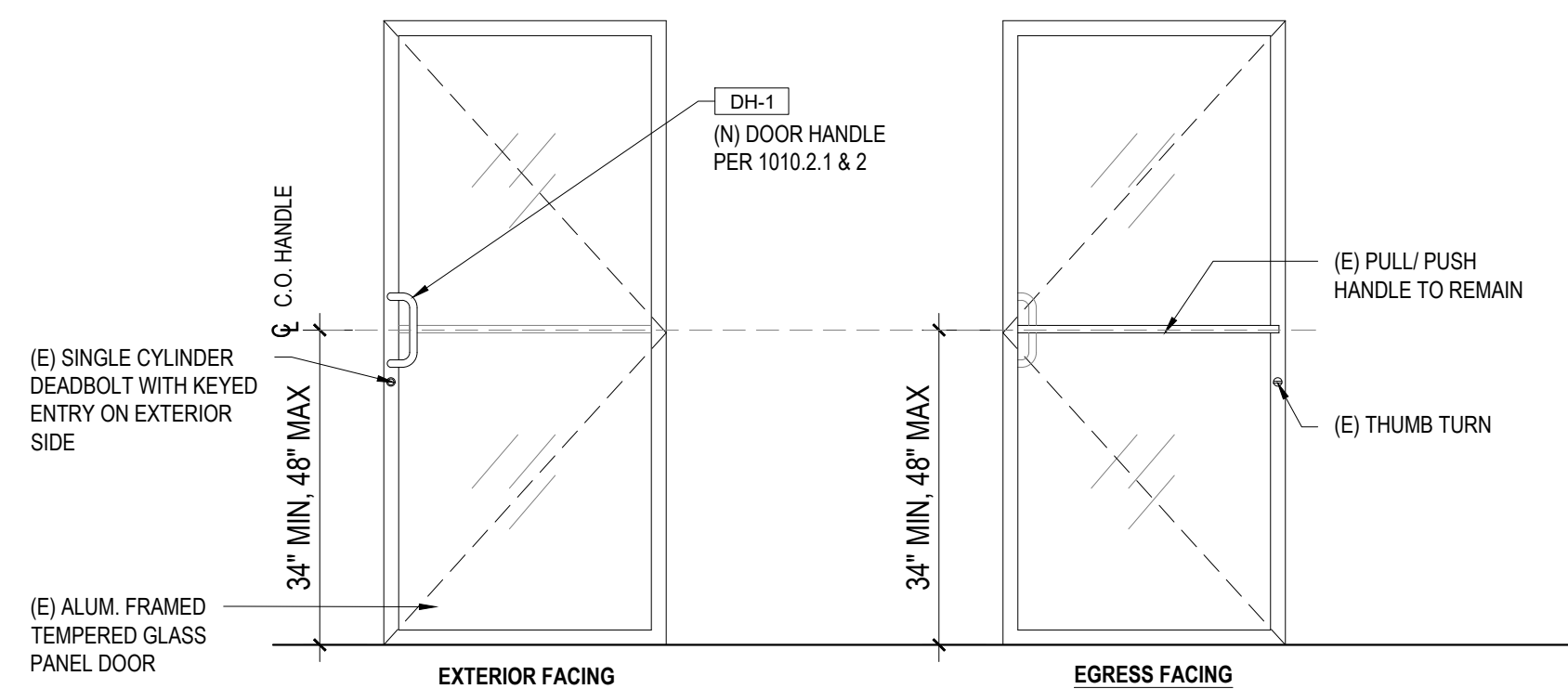
MARK	LOCATION			NOMINAL SIZE		DOOR PRODUCT						HARDWARE TYPE	DOOR FRAME		COMMENTS	
	ROOM NAME	NEW / REUSE EXISTING	EGRESS	WIDTH	HEIGHT	MANUFACTURER	MODEL / ITEM #	TYPE	OPERATION	MATERIAL	FINISH		MATERIAL	FINISH		
EXTERIOR																
D100	RECEPTION	EXISTING	YES	3'-0"	7'-0"	EXISTING FOR REUSE	TBD	1	SWING	(E) ALUMINUM, VIF	(E) POWDER COAT PAINT	(E) SINGLE CYLINDER MORTISE LOCK W/ (N) DH-1 DOOR PULL	(E) ALUMINIUM	EXISTING	GC TO VERIFY (E) DOOR HANDLE FOR ACCESSIBILITY. USE ADA COMPLIANT DOOR PULL, DH-1 IN HARDWARE SCHEDULE OR SIMILAR IF NON-COMPLIANT	
D101	STUDIO B	EXISTING	YES	3'-0"	7'-0"	EXISTING FOR REUSE	TBD	1	SWING	(E) METAL, VIF	(E) POWDER COAT PAINT	(E) SINGLE CYLINDER MORTISE LOCK W/ (N) DH-1 DOOR PULL	(E) ALUMINIUM	EXISTING	GC TO VERIFY (E) DOOR HANDLE FOR ACCESSIBILITY. USE ADA COMPLIANT DOOR PULL, DH-1 IN HARDWARE SCHEDULE OR SIMILAR IF NON-COMPLIANT	
D102	FILMING	NEW	YES	3'-0"	7'-0"	SPEC TO MATCH EXISTING EXTERIOR DOORS D100 & D101	TBD	1	SWING	MATCH (E) STOREFRONT FINISH	MATCH (E) STOREFRONT FINISH	(E) SINGLE CYLINDER MORTISE LOCK W/ (N) DH-1 DOOR PULL	MATCH EXISTING	MATCH EXISTING	USE ADA COMPLIANT DOOR PULL, DH-1 IN HARDWARE SCHEDULE OR SIMILAR IF NON-COMPLIANT	
INTERIOR																
D110	CONFERENCE ROOM	NEW OR REUSE EXISTING, VIF	NO	3'-0"	7'-0"	NEW SPEC OR REUSE (E)	TBD	4	SWING	SOLID CORE WOOD	EXISTING	DH-3	WOOD	PT-10		
D111	STUDIO A	NEW OR REUSE EXISTING, VIF	NO	3'-0"	7'-0"	NEW SPEC OR REUSE (E)	TBD	5	SWING	TEMPERED GLASS	EXISTING	DH-5	ALUM	PT-10		
D112	STUDIO A	NEW OR REUSE EXISTING, VIF	NO	3'-0"	7'-0"	NEW SPEC OR REUSE (E)	TBD	5	SWING	TEMPERED GLASS	EXISTING	DH-5	ALUM	PT-10		
D113	UNISEX BATHROOM	REUSE EXISTING	NO	3'-0"	7'-0"	REUSE EXISTING	TBD	4	SWING	SOLID CORE WOOD	EXISTING	DH-3	WOOD	PT-10		
D114	UNISEX BATHROOM	REUSE EXISTING	NO	3'-0"	7'-0"	REUSE EXISTING	TBD	4	SWING	SOLID CORE WOOD	EXISTING	DH-3	WOOD	PT-10		
D115	TELCO	REUSE EXISTING	NO	3'-0"	7'-0"	REUSE EXISTING	TBD	4	SWING	SOLID CORE WOOD	EXISTING	DH-4	WOOD	PT-10		
D116	JANITOR'S CLOSET	NEW OR REUSE EXISTING, VIF	NO	2'-8"	7'-0"	NEW SPEC OR REUSE (E)	TBD	4	SWING	SOLID CORE WOOD	EXISTING	DH-2	WOOD	PT-10		
D117	ACCESSIBLE CHANGING ROOM	NEW OR REUSE EXISTING, VIF	NO	3'-0"	7'-0"	NEW SPEC OR REUSE (E)	TBD	4	SWING	SOLID CORE WOOD	EXISTING	DH-3	WOOD	PT-10		
D118	STORAGE	NEW OR REUSE EXISTING, VIF	NO	2'-10"	7'-0"	NEW SPEC OR REUSE (E)	TBD	4	SWING	SOLID CORE WOOD	EXISTING	DH-4	WOOD	PT-10		
D119	UNISEX BATHROOM	NEW OR REUSE EXISTING, VIF	NO	2'-10"	7'-0"	NEW SPEC OR REUSE (E)	TBD	4	SWING	VINYL	EXISTING	DH-3	VINYL	PT-10		
D120	SHOWER	NEW OR REUSE EXISTING, VIF	NO	2'-10"	7'-0"	NEW SPEC OR REUSE (E)	TBD	4	SWING	VINYL	EXISTING	DH-3	VINYL	PT-10		
D121	STUDIO B	NEW OR REUSE EXISTING, VIF	NO	3'-0"	7'-0"	NEW SPEC OR REUSE (E)	TBD	5	SWING	TEMPERED GLASS	EXISTING	DH-5	ALUM	PT-10		
D122	STUDIO B	NEW OR REUSE EXISTING, VIF	NO	24'-0"	9'-10"	KWIK-WALL OR SIMILAR	LUNA	3	BIFOLD, CENTER OPEN	TEMPERED GLASS	TEMPERED GLASS	DH-6	MTL.	POWDER COAT WHITE	FLOOR SUPPORTED TRACK W/ TOP GUIDING TRACK	
D123	FILMING	NEW OR REUSE EXISTING, VIF	NO	3'-0"	7'-0"	NEW SPEC OR REUSE (E)	TBD	4	SWING	SOLID CORE WOOD	EXISTING	DH-4A	WOOD	PT-10		
D124	BREAK-OUT	NEW OR REUSE EXISTING, VIF	NO	3'-0"	7'-0"	NEW SPEC OR REUSE (E)	TBD	4	SWING	SOLID CORE WOOD	EXISTING	DH-4A	WOOD	PT-10		
D125	UNISEX BATHROOM	NEW OR REUSE EXISTING, VIF	NO	3'-0"	7'-0"	NEW SPEC OR REUSE (E)	TBD	4	SWING	SOLID CORE WOOD	EXISTING	DH-3	WOOD	PT-10		
D126	CLOSET	NEW	NO	3'-0"	7'-0"	TBD	TBD	6	DOUBLE FOLDING	SOLID CORE WOOD	PAINT, PT-10	DH-7	WOOD	PT-10		
D127	WATER HEATER CLOSET	NEW	NO	3'-0"	7'-0"	TBD	TBD	6A	FOLDING	SOLID CORE WOOD	PAINT, PT-10	DH-7	WOOD	PT-10		

HARDWARE SCHEDULE

ID	DESCRIPTION	MANUFACTURER	STYLE / CATALOG NUMBER	COLOR / FINISH	LOCATION	DOORS	COMMENTS
DH-1	ADA COMPLIANT EXTERIOR DOOR PULL W/ THUMBTURN LOCK AND KEY	ROCKWOOD OR SIMILAR	BF157A.28. OFFSET PULL HANDLE: CLIPFASTENERS, ALUMINUM, SATIN, 9 IN MOUNTING HOLE CENTER TO CENTER	SATIN CHROME	ENTRY DOORS	D100, D101, D102	VIF NON-COMPLIANT HANDLE AT ENTRY DOOR FOR ADA ACCESSIBILITY, SWAP OUT IF NON-COMPLIANT
DH-2	ADA COMPLIANT INTERIOR DOOR LEVER LOCKSET	FALCON OR SIMILAR	FALCON LOCK DOOR LOCKSET: STOREROOM LEVER LOCKSETS, CHROME, ADA COMPLIANT W581CP6D D 626	SATIN CHROME	JANITOR	D116	
DH-3	ADA COMPLIANT INTERIOR DOOR PRIVACY LEVER LOCKSET: KEYED LOCK W/ PUSH BUTTON	YALE OR SIMILAR	AU4602LN x 626 OR SIMILAR	SATIN CHROME	BATHROOMS, ACC CHANGE, SHOWER, CONF	D113, D114, D110, D117, D120, D119, D125	
DH-4	ADA COMPLIANT INTERIOR DOOR SECURITY MORTISE LEVER LOCKSET - STORAGE	SARGENT OR SIMILAR	8204 LNL 26D	SATIN CHROME	STORAGE, TELCO	D118, D115	
DH-4A	ADA COMPLIANT INTERIOR DOOR SECURITY MORTISE LEVER LOCKSET - ENTRANCE	SARGENT OR SIMILAR	8205 LNL 26D	SATIN CHROME	BREAK-OUT, FILMING	D123, D124	
DH-5	ADA COMPLIANT INTERIOR CLASSROOM LEVER LOCKSET	FALCON OR SIMILAR	LOCK DOOR LOCKSET: CLASSROOM LEVER LOCKSETS T561CP6D D 626 KD	SATIN CHROME	STUDIO A & B	D111, D112, D121	
DH-6	GLASS BIFOLD DOOR PULL AND LOCK	KWIK-WALL	LUNA LOCK INTEGRAL TO DOOR PRODUCT, SEE MANUFACTURER DOOR SPEC	SATIN ALUMINUM	STUDIO B, FILMING	D122	PROVIDE AND INSTALL BY OWNER DOOR VENDOR
DH-7	CLOSET DOOR PULL, NO LOCK	EMTEK	STAINLESS 6 INCH CENTER TO CENTER BAR CABINET PULL FROM THE STAINLESS STEEL COLLECTION	SS	CLOSET, WATER HEATER CLOSET	D126, D127	



EXTERIOR DOOR LEGEND



EXTERIOR DOOR - EGRESS ADA COMPLIANT HARDWARE

INTERIOR DOOR LEGEND

DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585.490.6941

ALL CONSULTING SERVICES PROVIDED ON THIS SHEET ARE THE INTELLECTUAL PROPERTY OF BLD INC. ANY REPRODUCTION, DISTRIBUTION, OR OTHER USE OF THIS SHEET WITHOUT THE WRITTEN CONSENT OF THE OWNER OF BLD INC. IS STRICTLY FORBIDDEN. UNAUTHORIZED USE OF THESE PLANS, SPECIFICATIONS, OR HARDWARE SCHEDULES IS PROHIBITED. PROJECT AND DESIGNATION: LOCATION, IS NOT ALLOWED.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

PROJECT ADDRESS
5 SCHALES CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536
APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUE
ISSUED FOR
PLAN CHECK
10/07/2024

DRAWN BY
BL
CHECKED BY
BL

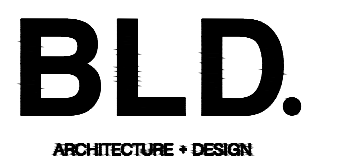
DATE
09/20/2024

DOOR SCHEDULES

A-0.01

PLUMBING FIXTURE & ACCESSORY SCHEDULE

ID	TYPE	QTY	MANUFACTURER	MODEL/CATALOG NUMBER	SERIES	COLOR/ FINISH	DESCRIPTION	INSTALLATION	COMMENTS
004 (E) UNISEX RESTROOM									
T-1	TOILET (ADA)	1	AMERICAN STANDARD	3461528.020	MADERA	WHITE	TOILET SYSTEM w/ PISTON FLUSH VALVE	FLOOR MOUNT	CHAIR HEIGHT, ELONGATED BOWL
	TOILET SEAT	1	AMERICAN STANDARD	5901.100	MADERA	WHITE	HEAVY DUTY OPEN FRONT LESS SEAT		
	TOILET SENSOR	1	AMERICAN STANDARD	-	SELECTRONIC	STAINLESS STEEL	TOUCHLESS PISTON FLUSH VALVE 1.28 gpf		INCLUDED IN TOILET SYSTEM KIT
S-1	WALL-MOUNT SINK (ADA)	1	AMERICAN STANDARD	9024001.EC.020	DECORUM	WHITE	SINK w/ CENTER HOLE ONLY	WALL MOUNT	
F-1	FAUCET (ADA)	1	AMERICAN STANDARD	605B105.200	SELECTRONIC	CHROME	TOUCHLESS FAUCET, BASE MODEL 0.5 gpm	DECK MOUNT	INCLUDE SENSOR KIT & 4" DECK PLATE 605P400.002
GB-1	42" GRAB BAR	1	BOBRICK	B-5806 x 42	-	STAINLESS STEEL - SATIN	1-1/4" DIA. GRAB BAR w/ SNAP FLANGE	WALL MOUNT	
GB-2	36" GRAB BAR	1	BOBRICK	B-5806 x 36	-	STAINLESS STEEL - SATIN	1-1/4" DIA. GRAB BAR w/ SNAP FLANGE	WALL MOUNT	
D-1	TOILET PAPER DISPENSER	1	BOBRICK	B-4288	CONTURA	STAINLESS STEEL - SATIN	MULTI-ROLL TOILET TISSUE DISPENSER	SURFACEWALL MOUNT	
D-2	PAPER TOWEL DISPENSER & WASTE RECEPTACLE	1	BOBRICK	B-4369	CONTURA	STAINLESS STEEL - SATIN	COMBINATION PAPER TOWEL DISPENSER & WASTE RECEPTACLE	RECESSED	
SH-1	36"x36" ROLL-IN SHOWER (ADA)	1	CLARION BATHWARE	AN3636BFSC	ACRYLX - INDEPENDENCE	WHITE	41" x 36" ONE-PIECE SHOWER	ALCOVE	CENTER DRAIN
SH-3	SHOWERHEAD KIT (ADA)	1	CLARION BATHWARE	HHS-30CE	-	STAINLESS STEEL	HANDHELD SHOWER w/ 30" SLIDEBAR	WALL MOUNT	LISTED IN ACCESSORIES WITH SHOWER BASE KIT
SH-4	SHOWER DRAIN	1	CLARION BATHWARE	-	-	BRASS	2" NO-CAULK DRAIN	-	LISTED IN ACCESSORIES WITH SHOWER BASE KIT
007 KITCHENETTE									
S-3	DROP-IN KITCHEN SINK	1	KOHLER	K-3894-4	VAULT	STAINLESS STEEL	25" SINGLE-BOWL KITCHEN SINK	TOP/UNDERMOUNT	4 DECK HOLES, INCLUDE SINK DRAIN K-8799
F-2	KITCHEN FAUCET (ADA)	1	KOHLER	810170-4AFA-CP	TRITON BOWE	POLISHED CHROME	1.8 gpm KITCHEN FAUCET w/ GOOSENECK SPOUT & LEVER HANDLES	DECK MOUNT	
011 LOCKER ROOM									
T-1	TOILET (ADA)	1	AMERICAN STANDARD	3461528.020	MADERA	WHITE	TOILET SYSTEM w/ PISTON FLUSH VALVE	FLOOR MOUNT	CHAIR HEIGHT, ELONGATED BOWL
	TOILET SEAT	1	AMERICAN STANDARD	5901.100	MADERA	WHITE	HEAVY DUTY OPEN FRONT LESS SEAT		
	TOILET SENSOR	1	AMERICAN STANDARD	-	SELECTRONIC	STAINLESS STEEL	TOUCHLESS PISTON FLUSH VALVE 1.28 gpf		INCLUDED IN TOILET SYSTEM KIT
S-1	WALL-MOUNT SINK (ADA)	1	AMERICAN STANDARD	9024001.EC.020	DECORUM	WHITE	SINK w/ CENTER HOLE ONLY	WALL MOUNT	
F-1	FAUCET (ADA)	2	AMERICAN STANDARD	605B105.200	SELECTRONIC	CHROME	TOUCHLESS FAUCET, BASE MODEL 0.5 gpm	DECK MOUNT	INCLUDE SENSOR KIT & 4" DECK PLATE 605P400.002
GB-1	42" GRAB BAR	1	BOBRICK	B-5806 x 42	-	STAINLESS STEEL - SATIN	1-1/4" DIA. GRAB BAR w/ SNAP FLANGE	WALL MOUNT	
GB-2	36" GRAB BAR	1	BOBRICK	B-5806 x 36	-	STAINLESS STEEL - SATIN	1-1/4" DIA. GRAB BAR w/ SNAP FLANGE	WALL MOUNT	
S-2	DROP-IN SINK (ADA)	1	KOHLER	K-5400-0	IRON PLAINS	WHITE	18-1/2" RECTANGULAR BATHROOM SINK	DROP-IN/UNDERMOUNT	
D-1	TOILET PAPER DISPENSER	1	BOBRICK	B-4288	CONTURA	STAINLESS STEEL - SATIN	MULTI-ROLL TOILET TISSUE DISPENSER	SURFACEWALL MOUNT	
D-2	PAPER TOWEL DISPENSER & WASTE RECEPTACLE	2	BOBRICK	B-4369	CONTURA	STAINLESS STEEL - SATIN	COMBINATION PAPER TOWEL DISPENSER & WASTE RECEPTACLE	RECESSED	
SH-2	30"x60" ROLL-IN SHOWER (ADA)	1	CLARION BATHWARE	MP6333BF -WH	ACRYLX - INDEPENDENCE	WHITE	33.75" x 63" ONE-PIECE SHOWER	ALCOVE	CENTER DRAIN
SH-3	SHOWERHEAD KIT (ADA)	2	CLARION BATHWARE	HHS-30CE	-	STAINLESS STEEL	HANDHELD SHOWER w/ 30" SLIDEBAR	WALL MOUNT	LISTED IN ACCESSORIES WITH SHOWER BASE KIT
SH-4	SHOWER DRAIN	2	CLARION BATHWARE	-	-	BRASS	2" NO-CAULK DRAIN	-	LISTED IN ACCESSORIES WITH SHOWER BASE KIT
014 ACCESSIBLE UNISEX RESTROOM									
T-1	TOILET (ADA)	1	EXISTING TO REMAIN						
	TOILET SEAT	1	EXISTING TO REMAIN						
	TOILET SENSOR	1	EXISTING TO REMAIN						
S-1	WALL-MOUNT SINK (ADA)	1	EXISTING TO REMAIN						
F-1	FAUCET (ADA)	1	EXISTING TO REMAIN						
GB-1	42" GRAB BAR	1	EXISTING TO REMAIN						
GB-2	36" GRAB BAR	1	EXISTING TO REMAIN						
D-1	TOILET PAPER DISPENSER	1	EXISTING TO REMAIN						
D-2	PAPER TOWEL DISPENSER & WASTE RECEPTACLE	1	EXISTING TO REMAIN						
015 ACCESSIBLE UNISEX RESTROOM									
T-1	TOILET (ADA)	1	EXISTING TO REMAIN						
	TOILET SEAT	1	EXISTING TO REMAIN						
	TOILET SENSOR	1	EXISTING TO REMAIN						
S-1	WALL-MOUNT SINK (ADA)	1	EXISTING TO REMAIN						
F-1	FAUCET (ADA)	1	EXISTING TO REMAIN						
GB-1	42" GRAB BAR	1	EXISTING TO REMAIN						
GB-2	36" GRAB BAR	1	EXISTING TO REMAIN						
D-1	TOILET PAPER DISPENSER	1	EXISTING TO REMAIN						
D-2	PAPER TOWEL DISPENSER & WASTE RECEPTACLE	1	EXISTING TO REMAIN						
013.1 WATER HEATER CLOSET									
WH-1	TANK WATER HEATER	1	AO SMITH	SEE MEP FOR SPEC. DRE-52-12 GOLD SERIES		N/A	50 GAL INDOOR ELECTRIC TANK WATER HEATER		SEE MEP FOR FULL SPEC AND DETAIL



DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585.490.6941

ALL CONSULTING AND DESIGN SERVICES PROVIDED BY BLD ARE THE PROPERTY OF BLD INC. ANY REPRODUCTION, DISTRIBUTION, OR USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE OWNER OF BLD INC. IS STRICTLY FORBIDDEN. UNAUTHORIZED USE OF THESE DRAWINGS FOR ANY OTHER PROJECT AND DESIGNATED LOCATION IS NOT ALLOWED.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

PROJECT ADDRESS
5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536
APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUE FOR PLAN CHECK 10/07/2024

DRAWN BY: BL CHECKED BY: BL

DATE: 09/20/2024

PLUMBING SCHEDULE

A-0.02

FINISH LOCATION

ROOM	FLOOR			BASE			WALL		CEILING	
	L.V.T.	CERAMIC TILE	CARPET	VINYL	CERAMIC TILE	WOOD	G.W.B. PAINTED	TILE	G.W.B. PAINTED	A.C.T.
001	RECEPTION	✓				✓	✓		✓	
002	CONFERENCE		✓			✓	✓		✓	
003	STUDIO A	✓				✓	✓		✓	
004	UNISEX		✓			✓		✓ HALF	✓	
006	BREAK-OUT	✓				✓	✓		✓	
007	KITCHENETTE	✓				✓	✓		✓	
008	FILMING	✓				✓	✓		✓	
009	STUDIO B	✓				✓	✓		✓	
011	LOCKER		✓			✓	✓	✓ HALF	✓	
011.3	LOCKER HALL	✓				✓	✓		✓	
011.1	UNISEX		✓			✓	✓	✓ HALF	✓	
012, 012.1	CHANGING ROOMS	✓				✓	✓		✓	
012.2	STORAGE	✓				✓	✓		✓	
011.2	SHOWER		✓			✓		✓	✓	
013	HALLWAY	✓				✓	✓		✓	
013.1	WATER HEATER CLOSET		✓		✓		✓		✓	
013.2	JANITOR CLOSET		✓		✓			✓ HALF	✓	
014	ACCESSIBLE UNISEX		✓			✓		✓ HALF	✓	
015	ACCESSIBLE UNISEX		✓			✓		✓ HALF	✓	
017	TELCO	✓			✓		✓			✓

BLD.
ARCHITECTURE + DESIGN

DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585.490.6941

ALL COPYRIGHTED ILLUSTRATIONS SHOWN ON THIS SHEET ARE THE INTELLECTUAL PROPERTY OF BLD INC. ANY REPRODUCTION, DISTRIBUTION, OR SALE OF THIS SHEET WITHOUT THE WRITTEN CONSENT OF THE OWNER OF BLD INC. IS STRICTLY FORBIDDEN. UNAUTHORIZED USE OF THESE PLANS, ESPECIALLY FOR THE INDICATED PROJECT AND DESIGNATED LOCATION, IS NOT ALLOWED.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

PROJECT ADDRESS
5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536

APN:
18-01404-0000-00043-0000-C202

REVISION

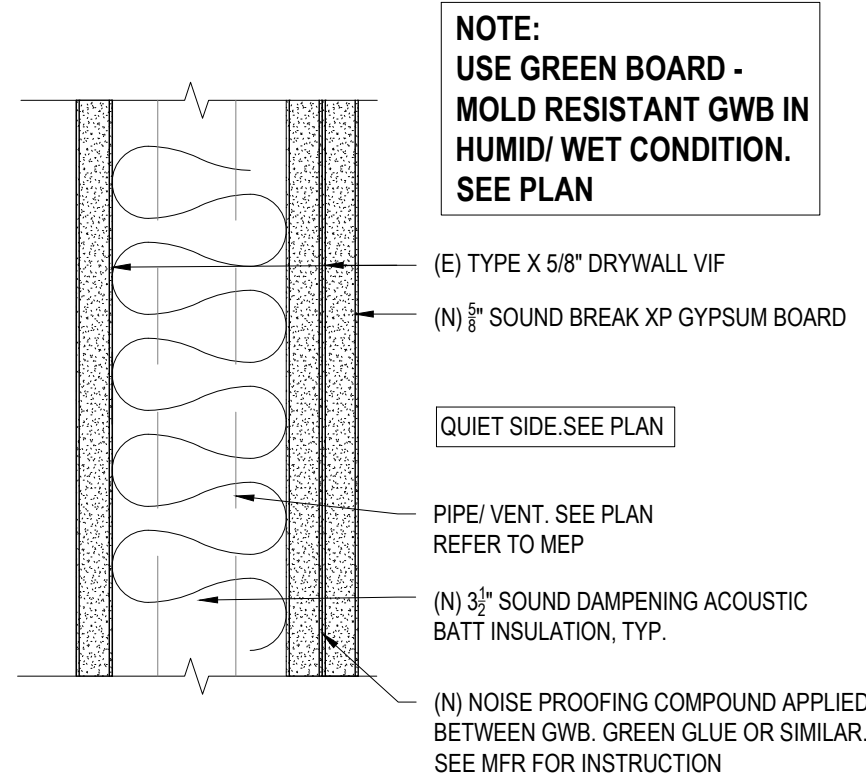
ISSUE
ISSUED FOR
PLAN CHECK
10/07/2024

DRAWN BY
BL
CHECKED BY
BL

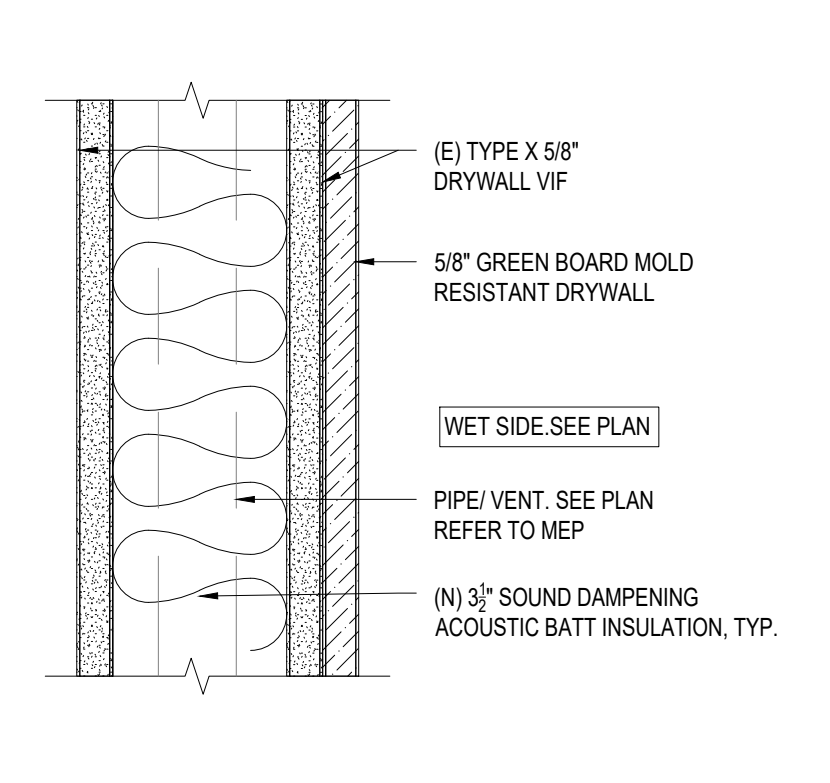
DATE
09/20/2024

FINISH SCHEDULE

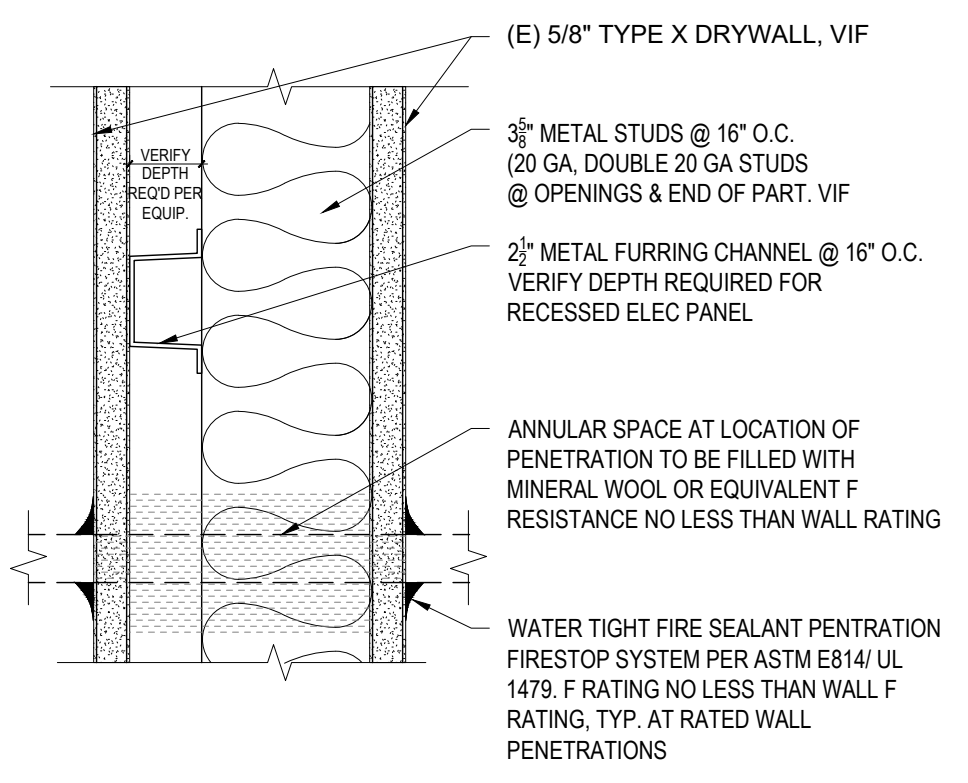
A-0.03



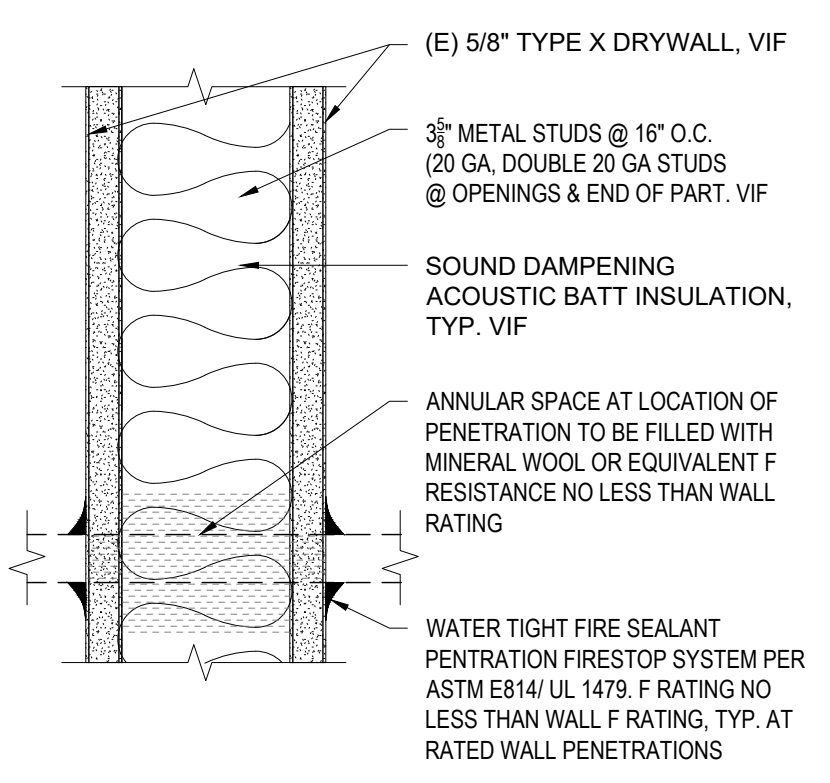
(E) G.W.B. PARTITION - ACOUSTICS RATED, FRAMED TO DECK
E3.1
3" = 1'-0"



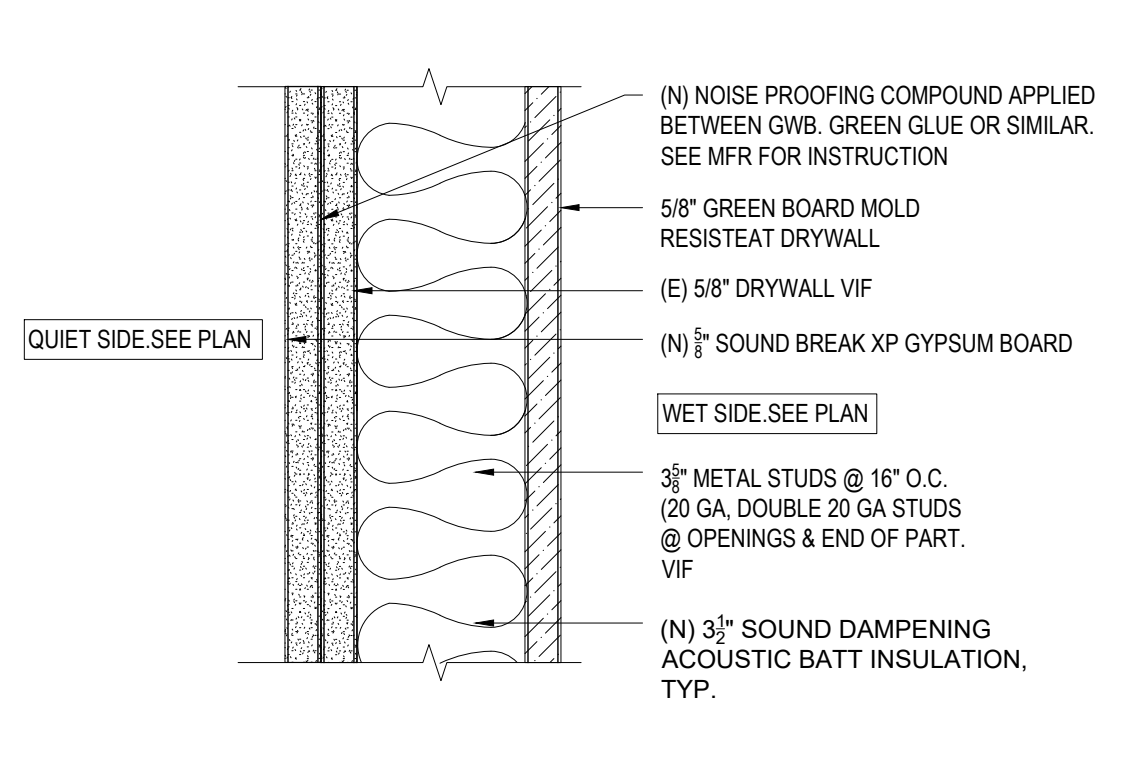
(E) G.W.B. PARTITION PLUMBING WALL RATED, FRAMED TO DECK
E3
3" = 1'-0"



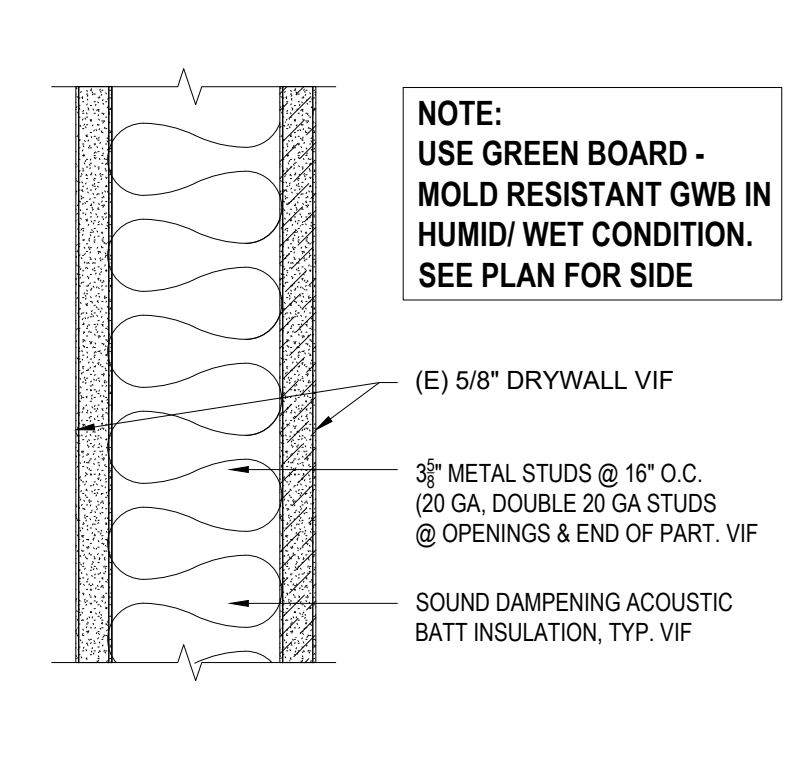
(E) G.W.B. FURRED PARTITION RATED, FRAMED TO DECK
E2.1
3" = 1'-0"



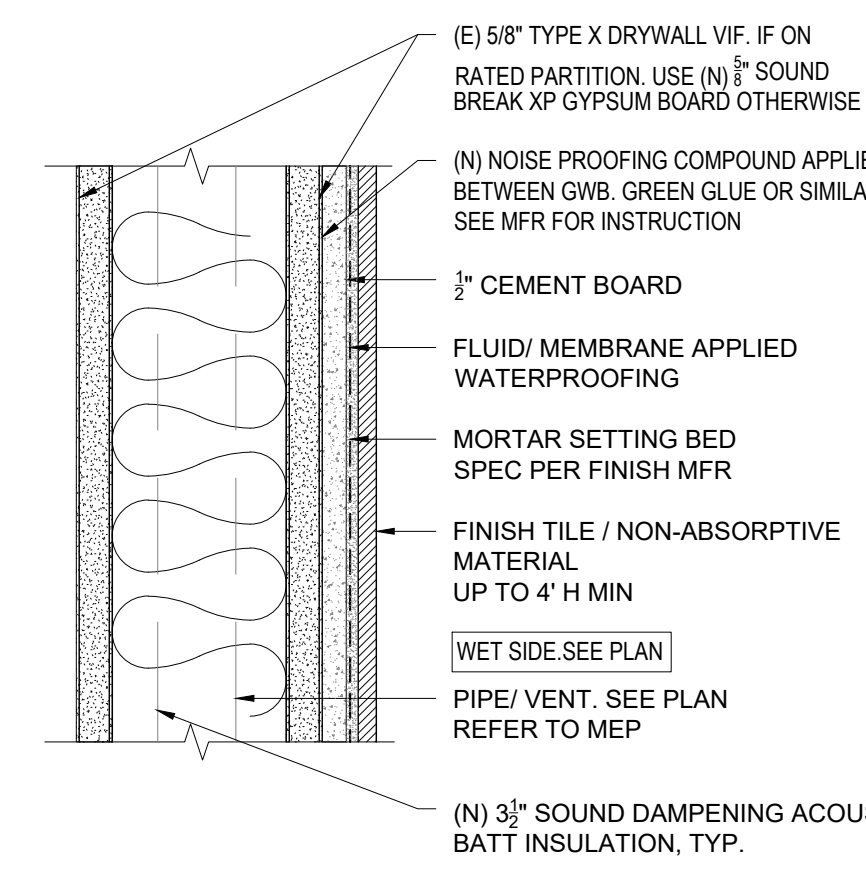
(E) G.W.B. PARTITION RATED, FRAMED TO DECK
E2
3" = 1'-0"



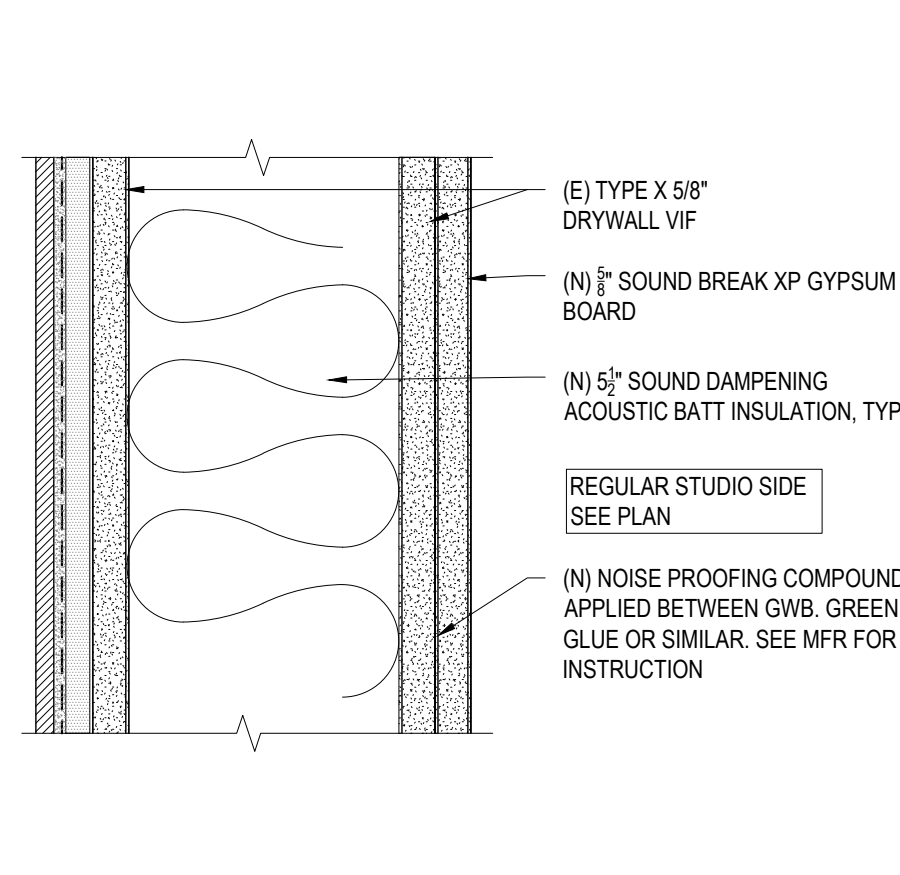
(E) G.W.B. PARTITION - WET | ACOUSTIC NON-RATED, FRAMED TO DECK
E1.1
3" = 1'-0"



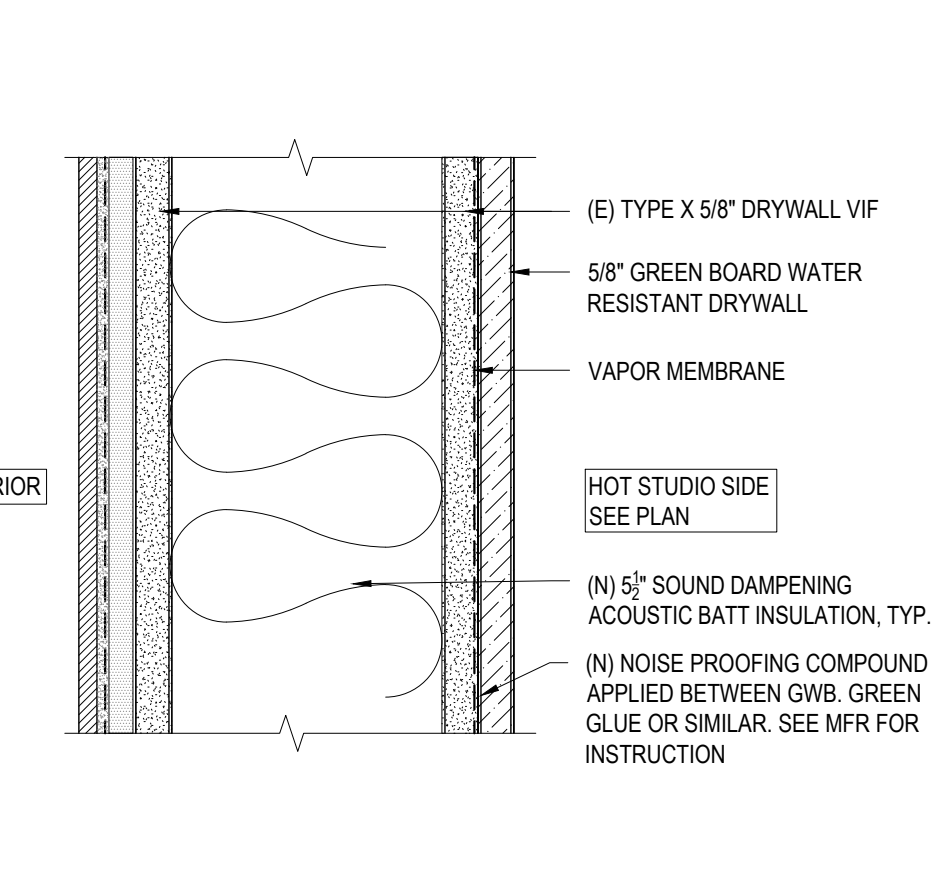
(E) G.W.B. PARTITION NON-RATED, FRAME TO CLG.
E1
3" = 1'-0"



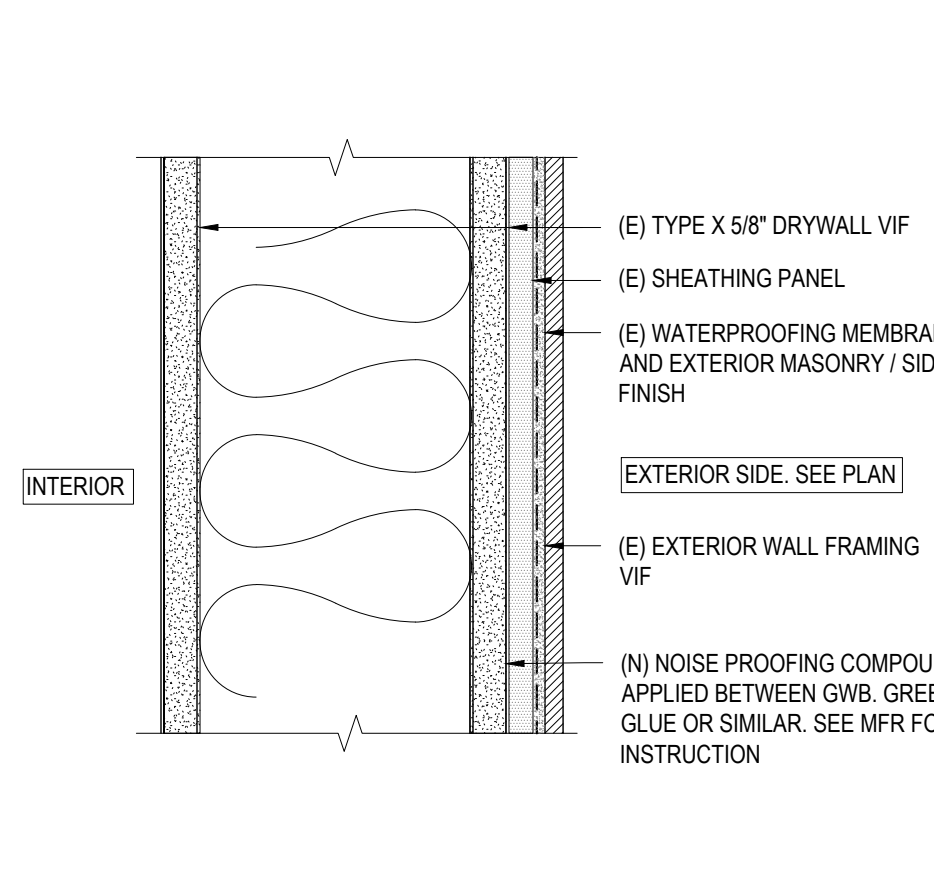
(E) G.W.B. PARTITION PLUMBING WALL - WET RATED, FRAMED TO DECK
E3.2
3" = 1'-0"



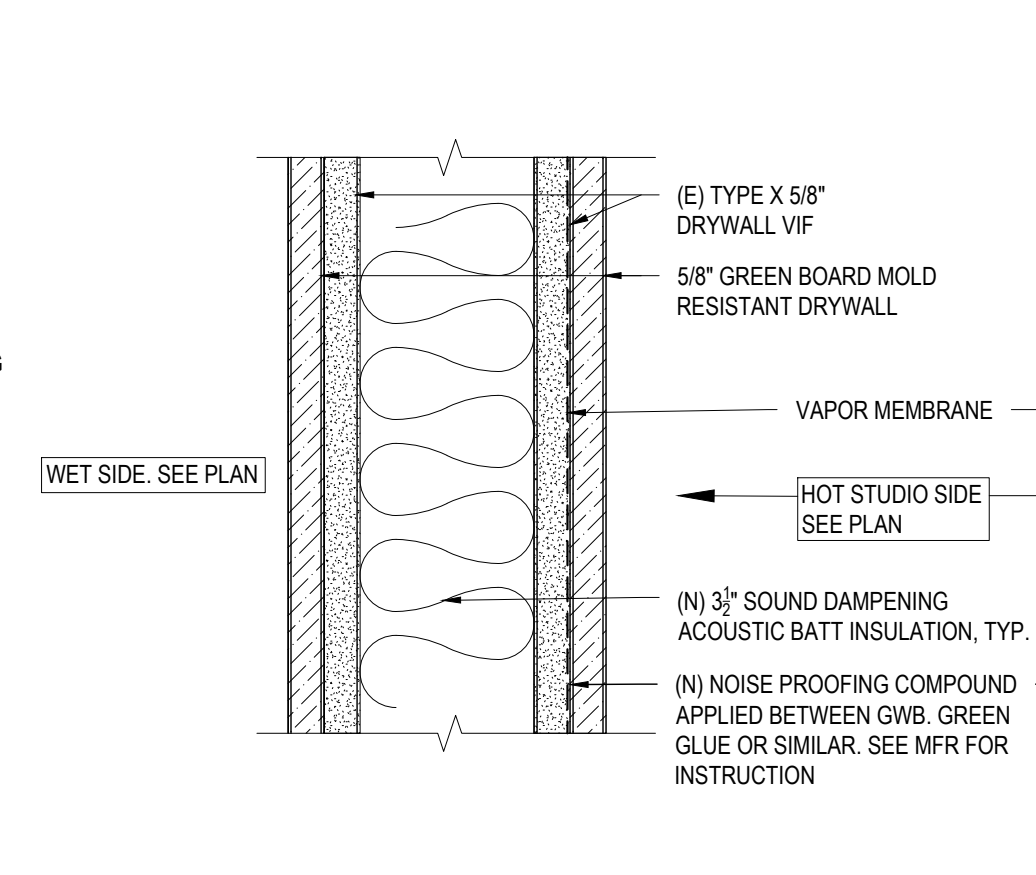
(E) EXTERIOR WALL - ACOUSTICS RATED
E5.2
3" = 1'-0"



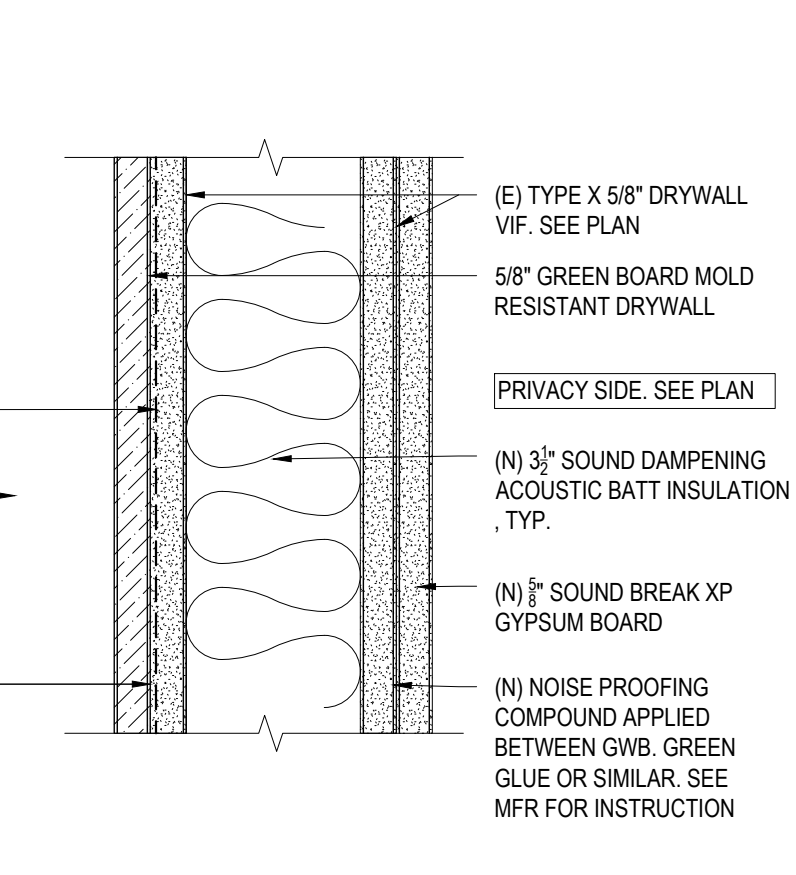
(E) EXTERIOR WALL - HUMID RATED
E5.1
3" = 1'-0"



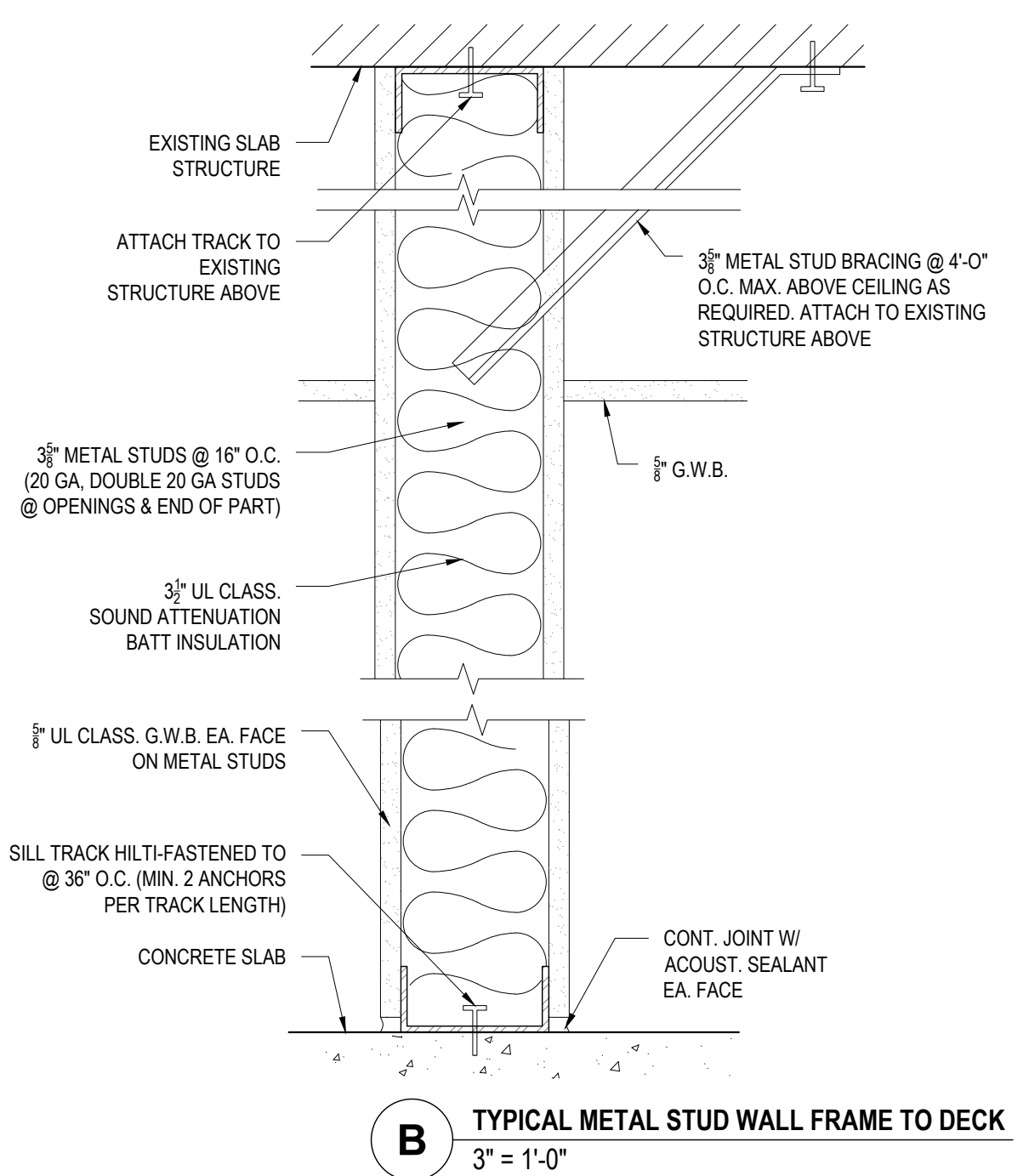
(E) EXTERIOR WALL RATED
E5
3" = 1'-0"



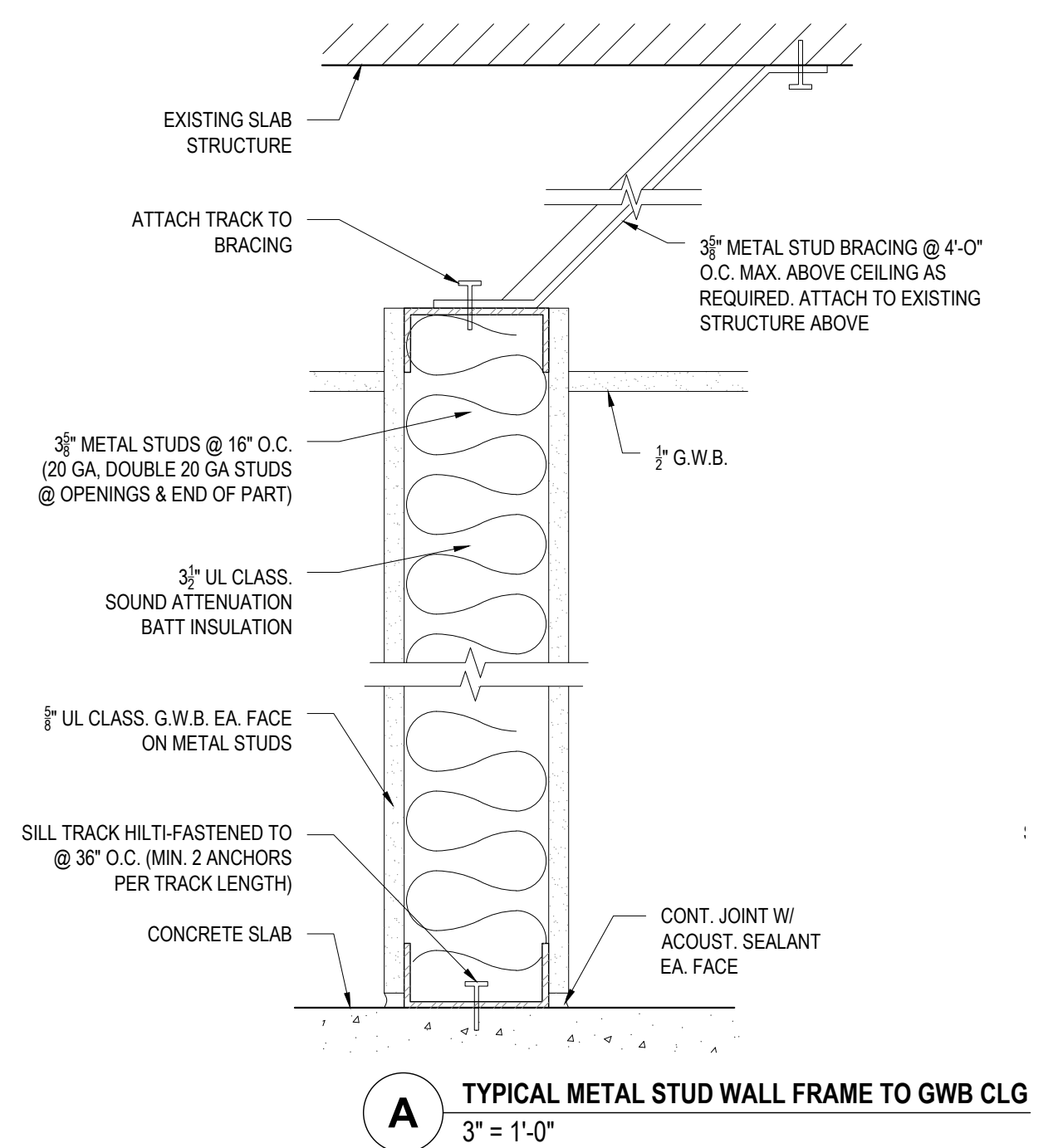
(E) G.W.B. PARTITION - HUMID & ACOUSTICS BOTH SIDES RATED, FRAMED TO DECK
E4.1
3" = 1'-0"



(E) G.W.B. PARTITION - HUMID | ACOUSTICS RATED, FRAMED TO DECK
E4
3" = 1'-0"

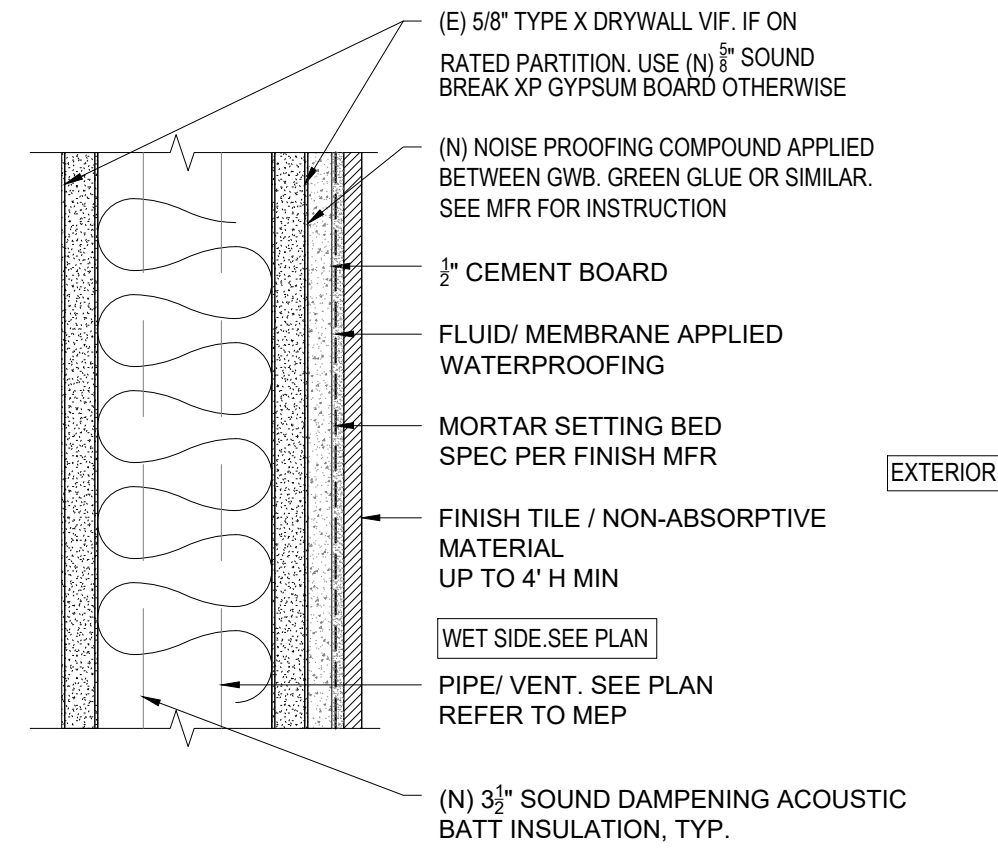


B TYPICAL METAL STUD WALL FRAME TO DECK
3" = 1'-0"

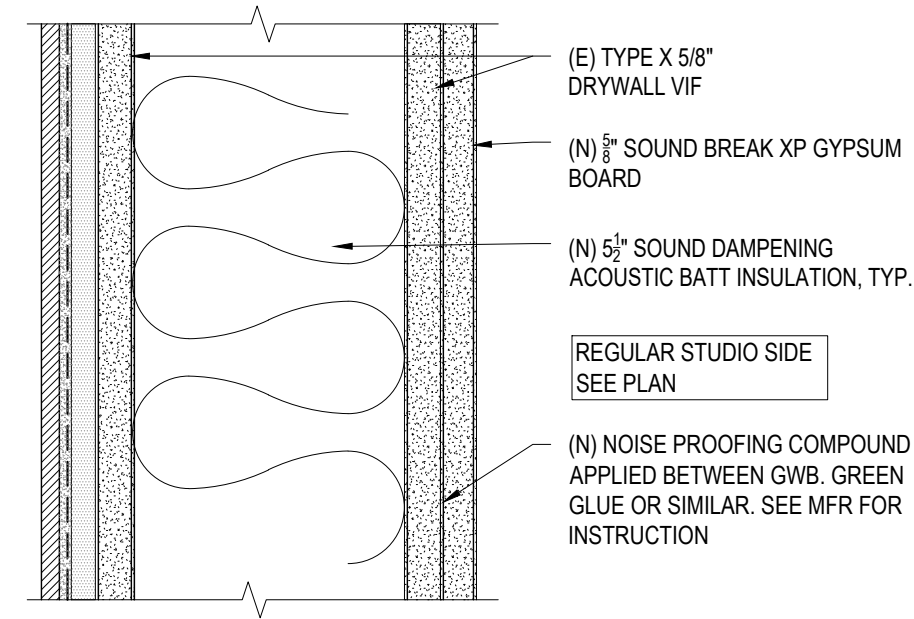


A TYPICAL METAL STUD WALL FRAME TO G.W.B CLG
3" = 1'-0"

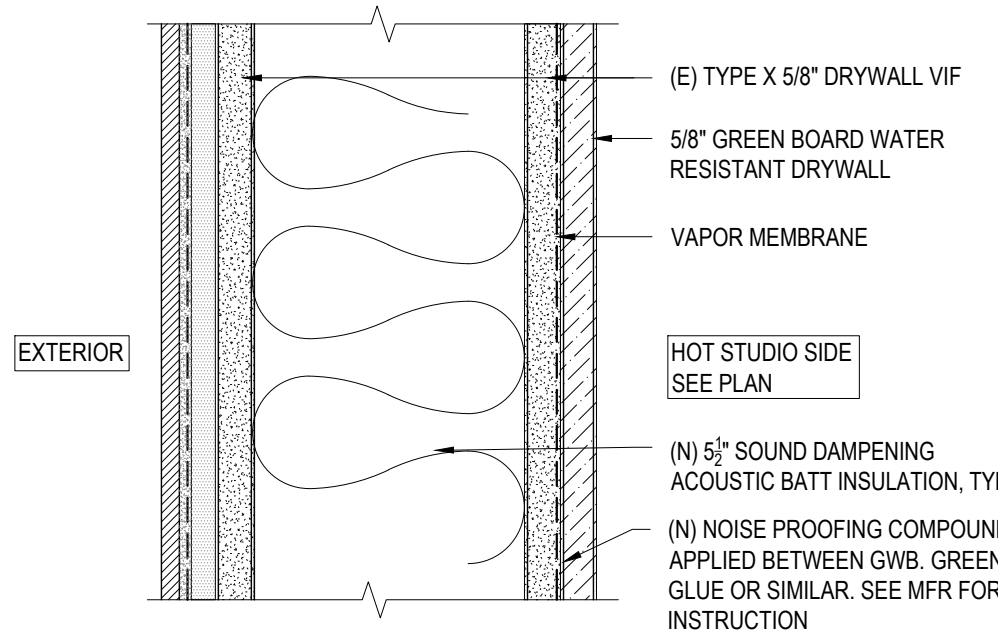
GENERAL NOTES - WALL PARTITION TYPE	
GENERAL FRAMING	
1. ALL (N) WALL PARTITIONS TO BE FRAMED W/ 3/4" METAL STUDS @ 16" O.C. (20 GA, DOUBLE 20 GA STUDS @ OPENINGS & END OF PARTITION, TYP. U.ON.	
FOR WET / HUMID CONDITIONS	
2. USE GREEN BOARD - MOLD RESISTANT G.W.B IN HUMID/ WET CONDITION. SEE PLAN FOR HUMID/ WET SIDE(S)	
FOR STUDIO / ACOUSTICAL WALLS	
3. USE SOUND BREAK XP GYPSUM BOARD, NOISE PROOFING COMPOUND, AND NOISE DAMPENING ACOUSTICAL BATT INSULATION.	
4. STAGGER 2ND LAYER OF G.W.B TO BLOCK SEAMS.	
5. USE ACOUSTICAL CAULKING AT WINDOWS, DOORS, ELEC BOXES AND OTHER VISIBLE GAP AND SEAM	
PROJECT ADDRESS	5 SCHALKS CROSSING RD SUITE 210, PLAINSBORO TOWNSHIP, NJ 08536
PROJECT NUMBER	APN: 18-01404-0000-00043-0000-C202
ISSUE FOR PLAN CHECK	10/07/2024
DRAWN BY	BL
CHECKED BY	BL
DATE	09/20/2024
WALL PARTITION TYPE	
A-0.10	



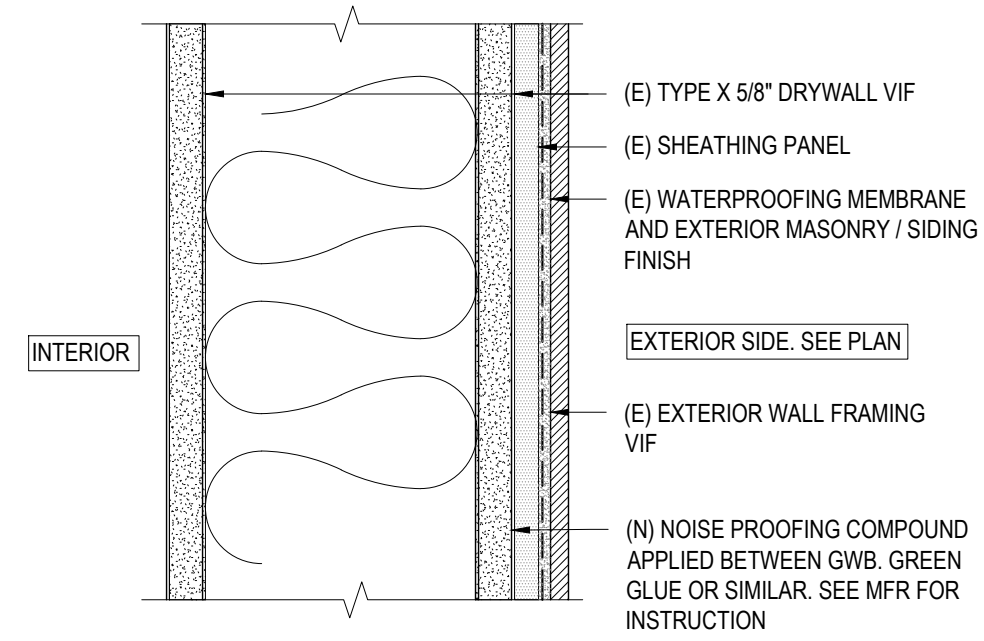
(E) G.W.B. PARTITION PLUMBING WALL - WET RATED, FRAMED TO DECK
3" = 1'-0" **E3.2**



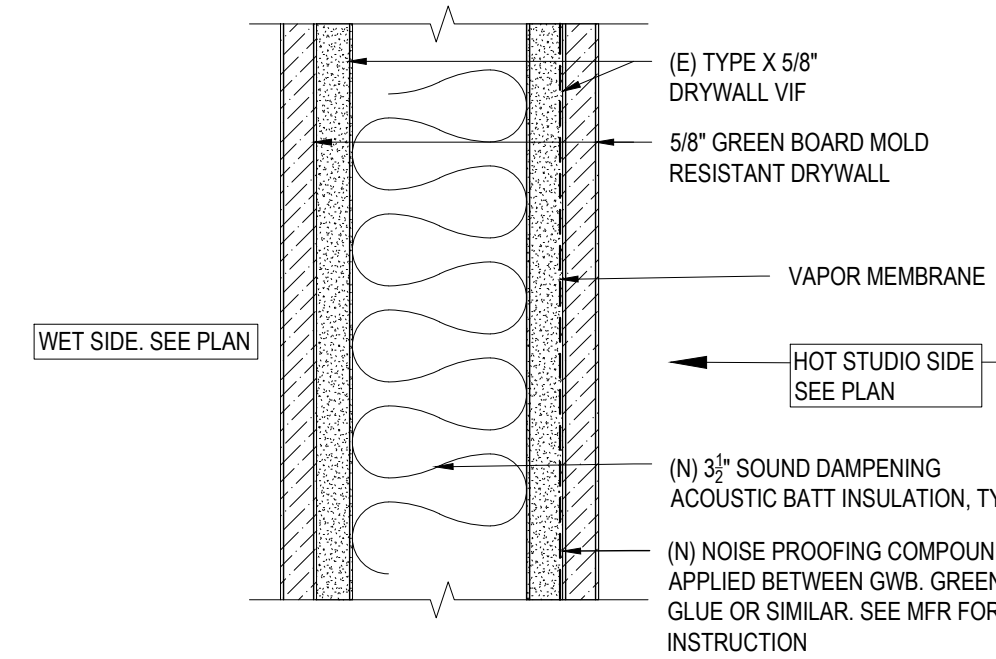
(E) EXTERIOR WALL - ACOUSTICS RATED
3" = 1'-0" **E5.2**



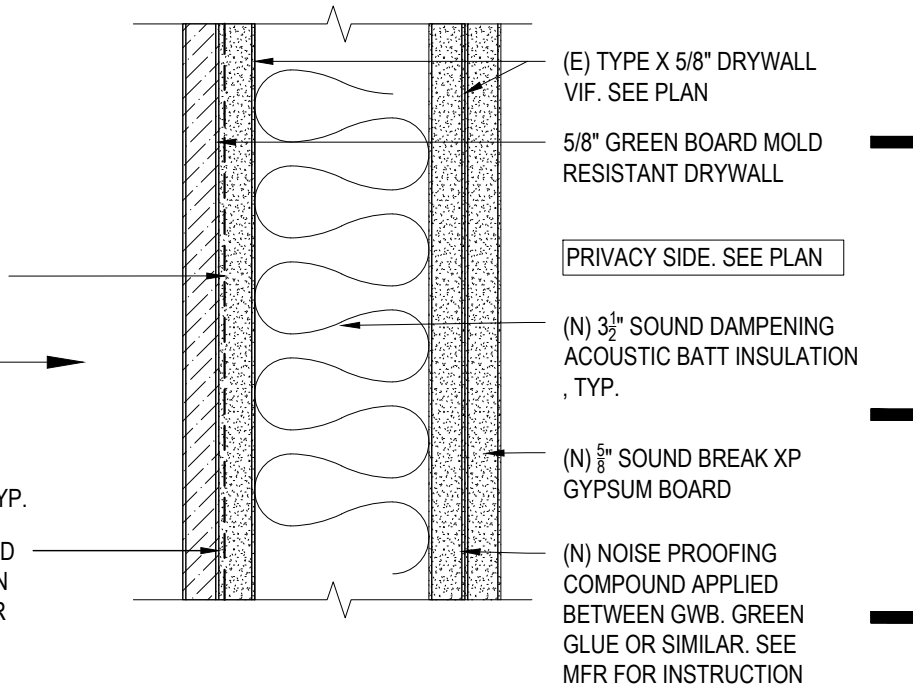
(E) EXTERIOR WALL - HUMID RATED
3" = 1'-0" **E5.1**



(E) EXTERIOR WALL RATED
3" = 1'-0" **E5**



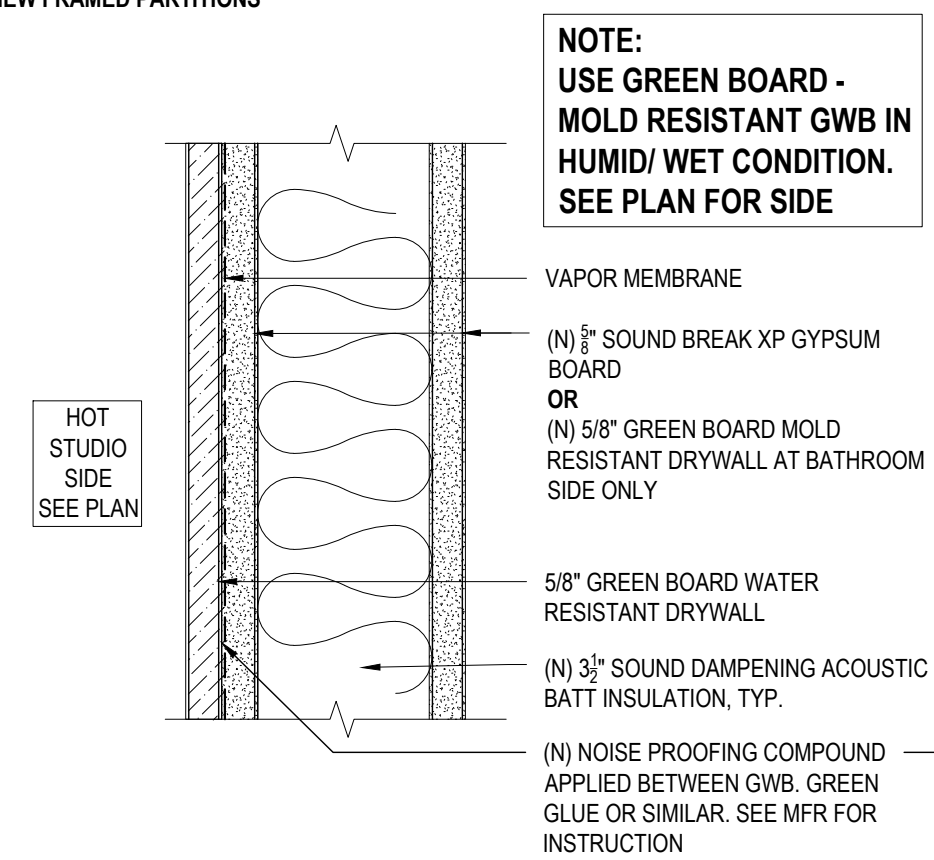
(E) G.W.B. PARTITION - HUMID & ACOUSTICS BOTH SIDES RATED, FRAMED TO DECK
3" = 1'-0" **E4.1**



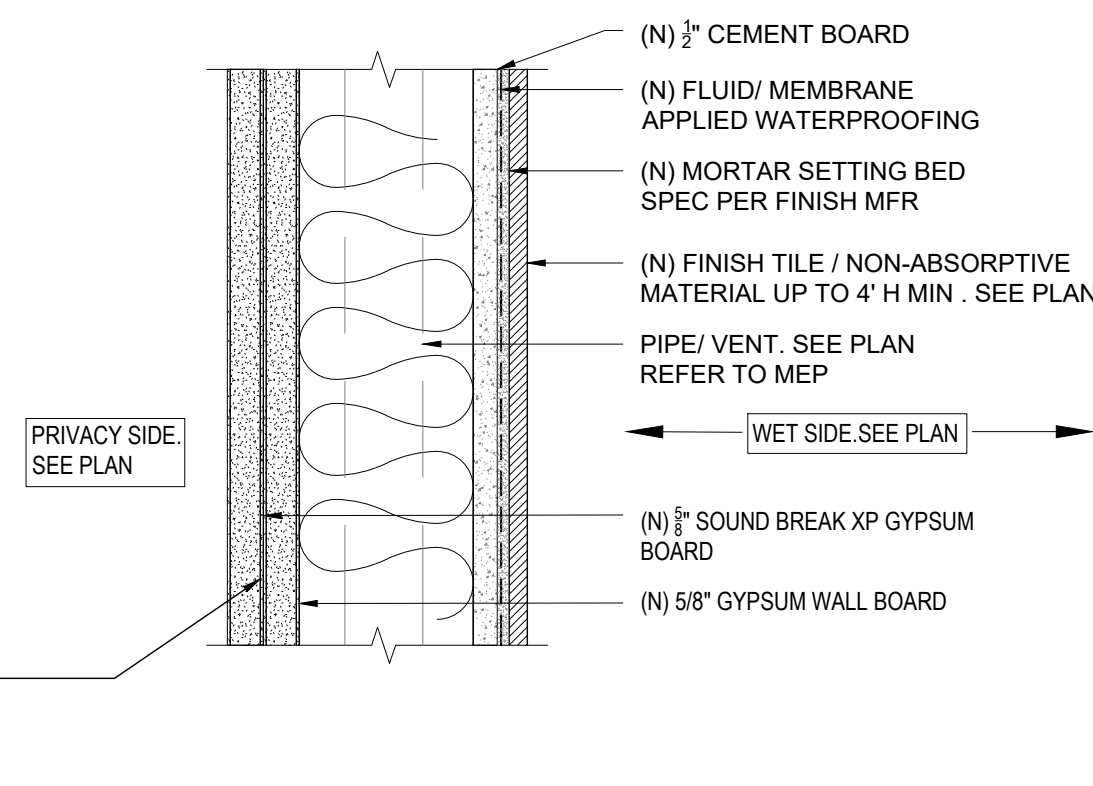
(E) G.W.B. PARTITION - HUMID | ACOUSTICS RATED, FRAMED TO DECK
3" = 1'-0" **E4**

EXISTING FRAMED PARTITIONS

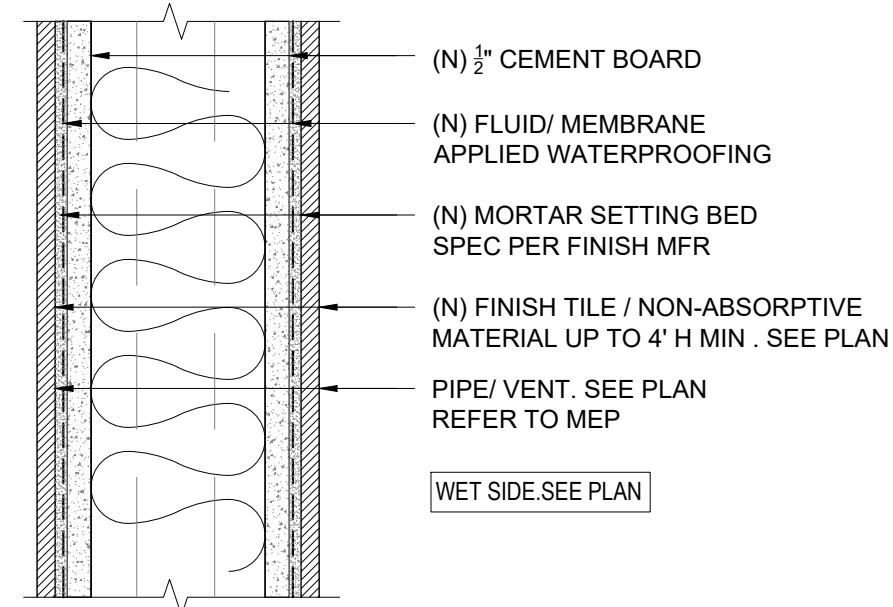
NEW FRAMED PARTITIONS



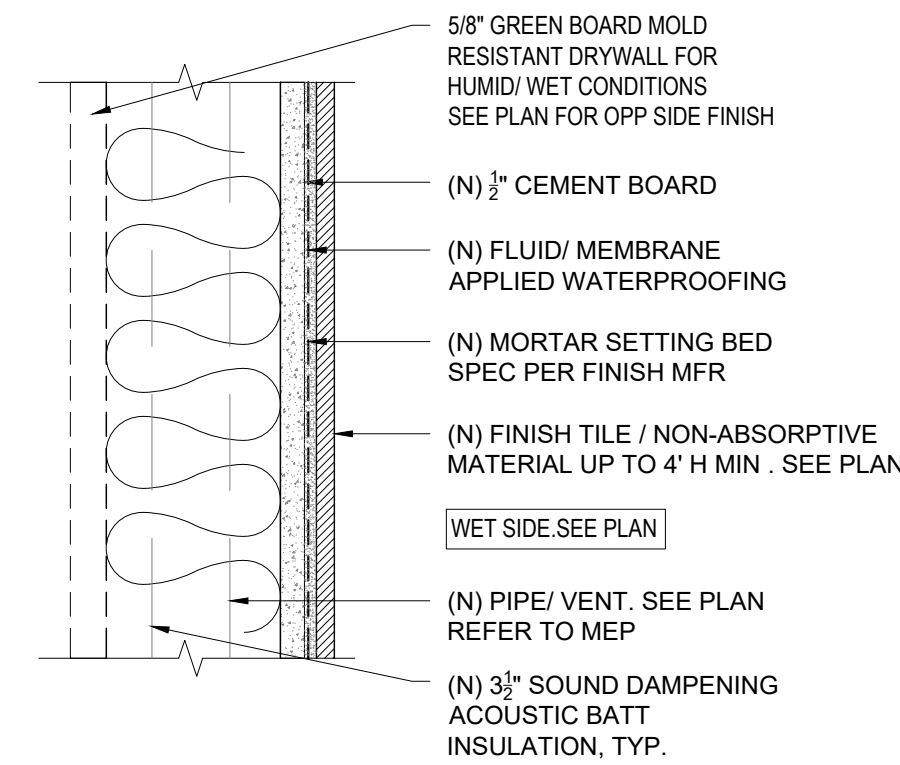
(N) G.W.B. PARTITION - ACOUSTICS | HUMID FRAME TO DECK
3" = 1'-0" **A4.1**



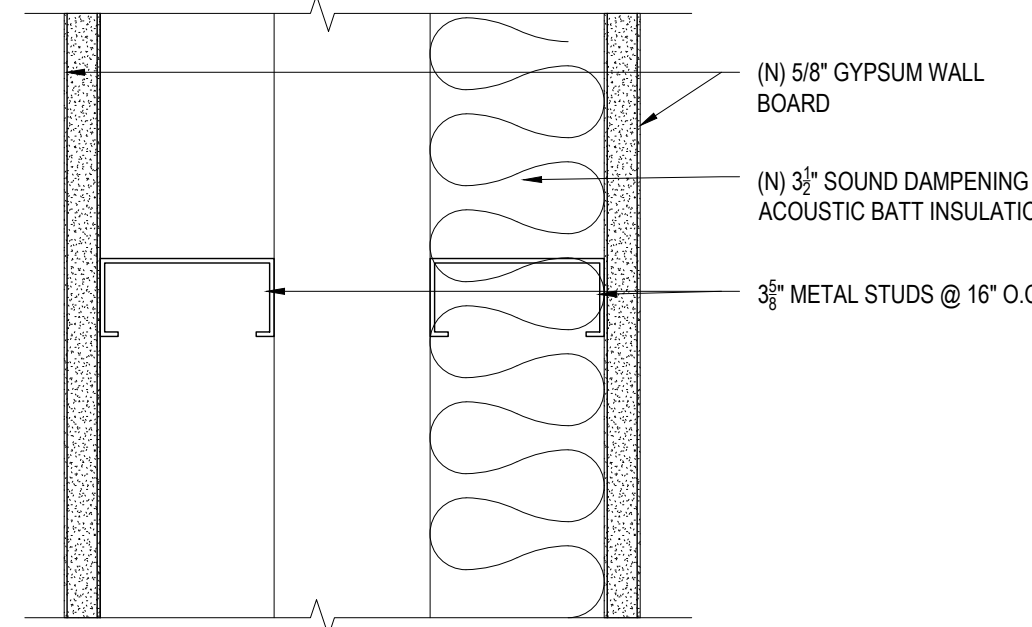
(N) G.W.B. PARTITION - ACOUSTICS | WET FRAME TO DECK
3" = 1'-0" **A4**



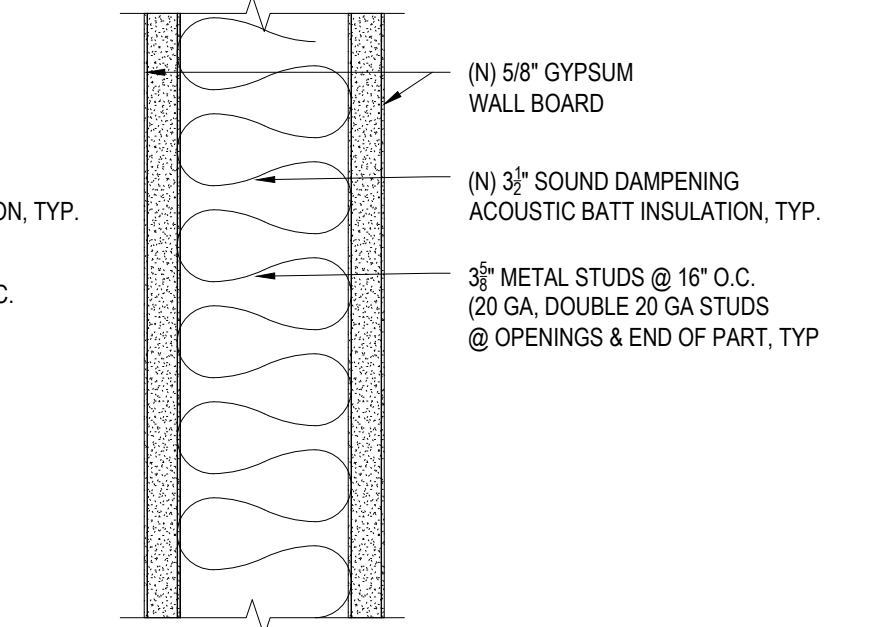
(N) G.W.B. PLUMBING PARTITION WET DOUBLE SIDED NON-RATED, FRAME TO CLG
3" = 1'-0" **A3**



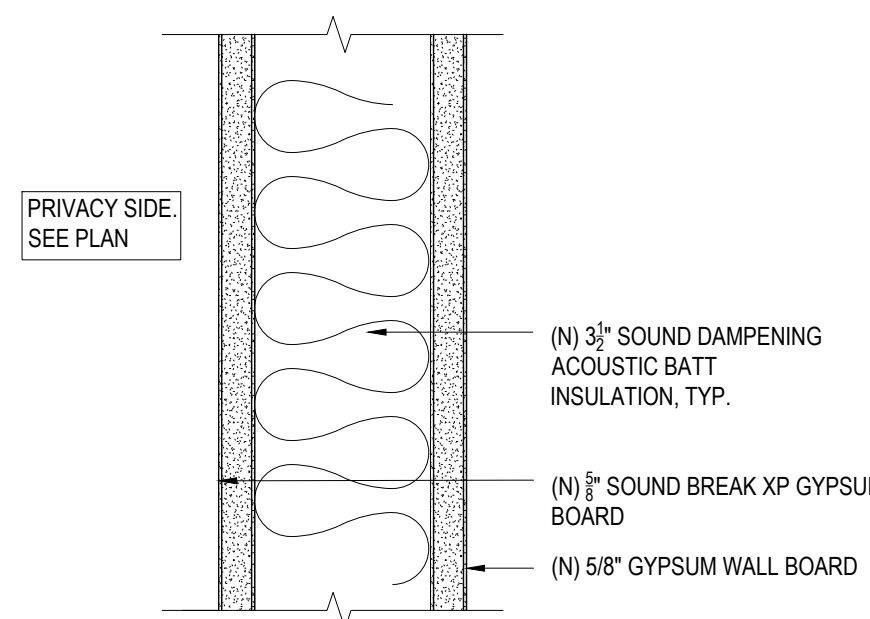
(N) G.W.B. PLUMBING PARTITION - WET ONE SIDED NON-RATED, FRAME TO CLG
3" = 1'-0" **A2**



(N) G.W.B. THICKENED PARTITION NON-RATED, FRAME TO CLG
3" = 1'-0" **A1.1**



(N) G.W.B. PARTITION NON-RATED, FRAME TO CLG
3" = 1'-0" **A1**



(N) G.W.B. PARTITION - ACOUSTICS FRAME TO DECK
3" = 1'-0" **A4.2**

GENERAL NOTES - WALL PARTITION TYPE

GENERAL FRAMING

- ALL (N) WALL PARTITIONS TO BE FRAMED W/ 3 5/8" METAL STUDS @ 16" O.C. (20 GA, DOUBLE 20 GA STUDS @ OPENINGS & END OF PARTITION, TYP. U.ON.

FOR WET / HUMID CONDITIONS

- USE GREEN BOARD - MOLD RESISTANT GWB IN HUMID/ WET CONDITION. SEE PLAN FOR HUMID/ WET SIDE(S)

FOR STUDIO / ACOUSTICAL WALLS

- USE SOUND BREAK XP GYPSUM BOARD, NOISE PROOFING COMPOUND, AND NOISE DAMPENING ACOUSTICAL BATT INSULATION.
- STAGGER 2ND LAYER OF GWB TO BLOCK SEAMS.
- USE ACOUSTICAL CAULKING AT WINDOWS, DOORS, ELEC BOXES AND OTHER VISIBLE GAP AND SEAM

PROJECT ADDRESS
5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536

APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUE FOR PLAN CHECK
10/07/2024

DRAWN BY: BL CHECKED BY: BL

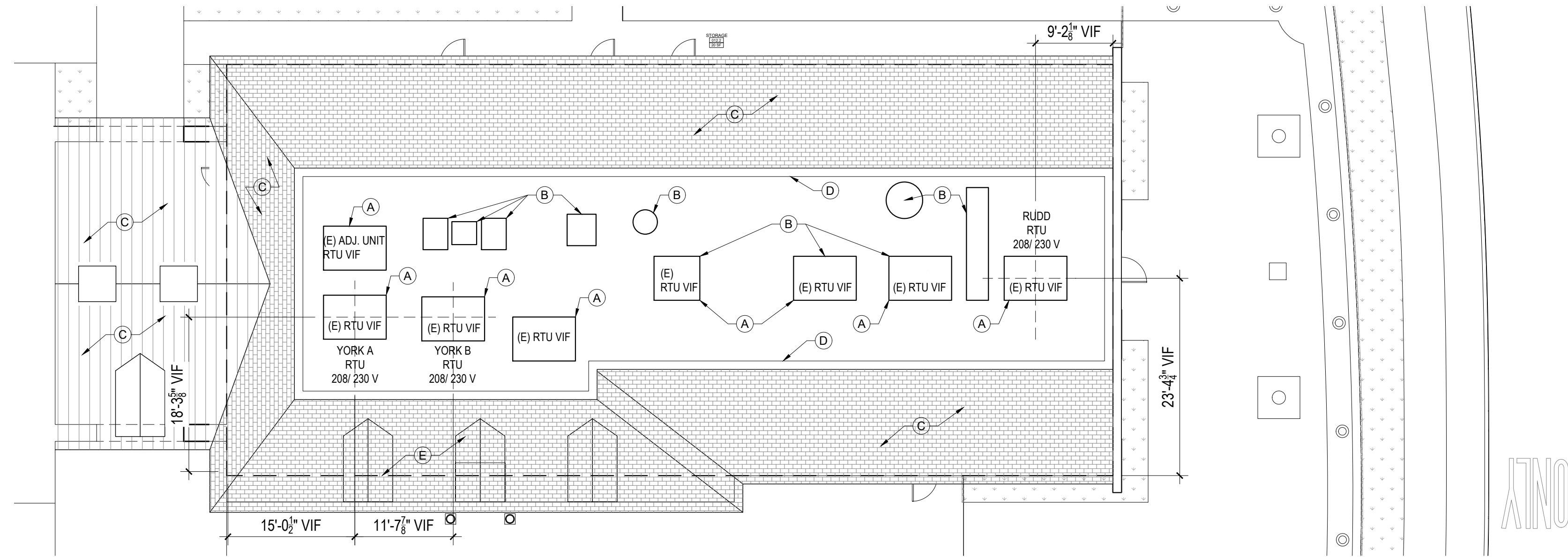
DATE: 09/20/2024

WALL PARTITION TYPE CONT.

A-0.11

GENERAL NOTES - SITE PLAN

- DO NOT SCALE FROM DRAWINGS
- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION
- CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS
- CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK
- CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF THE WORK
- CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY TOWNSHIP REGULATIONS
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP
- THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES



2 ROOF PLAN
3/32" = 1'-0"

KEYNOTES - ROOF PLAN

- (E) RTU SERVING PROJECT SCOPE. VIF EXACT QUANTITY, LOCATION, AND SPECIFICATION. SEE VERIFIED EXISTING EQUIPMENT MODEL SERIAL NUMBER & SPECS BELOW:
 - RUDD RTU
MODEL #: RKP-A060CK13E
SERIAL #: F08200652
208/230V, PH 3, HZ 60
 - YORK A RTU
MODEL #: ZE036H10A2A1BA1A2
SERIAL #: N2G2663004
208/230V, PH 3, HZ 60
 - YORK B RTU
MODEL #: D7CG036N07925A
SERIAL #: (S) N0E6281775
208/230V, PH 3, HZ 60
 - RTU TO BE VERIFIED IN FIELD. SEE MEP MODEL #: VIF SERIAL #: VIF 208/230V, PH 3, HZ 60 VIF
- (E) CONDENSERS, DUCTS, ROOF ACCESS, EXHAUSTS, VENTS, AND ETC. VIF TO REMAIN AND PROTECTED IN PLACE
- (E) ROOF STRUCTURE AND ALL FINISH TO REMAIN. NOT IN SCOPE
- (E) PARAPET
- (E) DORMER ROOF, METAL BATTON ROOF TO REMAIN. NOT IN SCOPE

SEE MEP FOR (E) RTU TO BE REUSED OR (N) RTU/HVAC UNITS PROPOSED

BLD.
ARCHITECTURE + DESIGN

DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C

WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585-490-6941

KEYNOTES - SITE PLAN

- (E) PARKING STRIPING TO REMAIN. NO WORK
- (E) CONCRETE OR PAVED WALKWAY TO REMAIN
- STORM WATER SITE DRAIN TO REMAIN
- (E) CONCRETE FLOORING AND PAVED BREEZEWAY FLOORING TO REMAIN
- VIF (E) CONDITION OF DOOR THRESHOLD. REPAIR/REPLACE WITH LIKE-FOR-LIKE MTL. DOOR TRESHOLD SHALL DAMAGES OBSERVED OR OCCURRED DURING WORK. SEE G-1.0 FOR THRESHOLD DETAIL
- (N) 3' EXTERIOR DOOR SWAP-IN AT TYPICAL MTL STOREFRONT WINDOW. DOOR TO MATCH ADJACENT MTL STOREFRONT DOOR AND ACC. DOOR PULL AND LOCK
- SEE ACC. PLAN 1-1.12 FOR EXISTING ADA ACC. PATH OF TRAVEL & G.1 SERIES FOR GENERAL ACC. DIAGRAM
- (E) SITE TREE PLANTERS AND IN-GROUND PLANTERS. NOT IN SCOPE

OM LIFE LIVING

PROJECT ADDRESS
5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536

APN:
18-01404-0000-00043-0000-C202

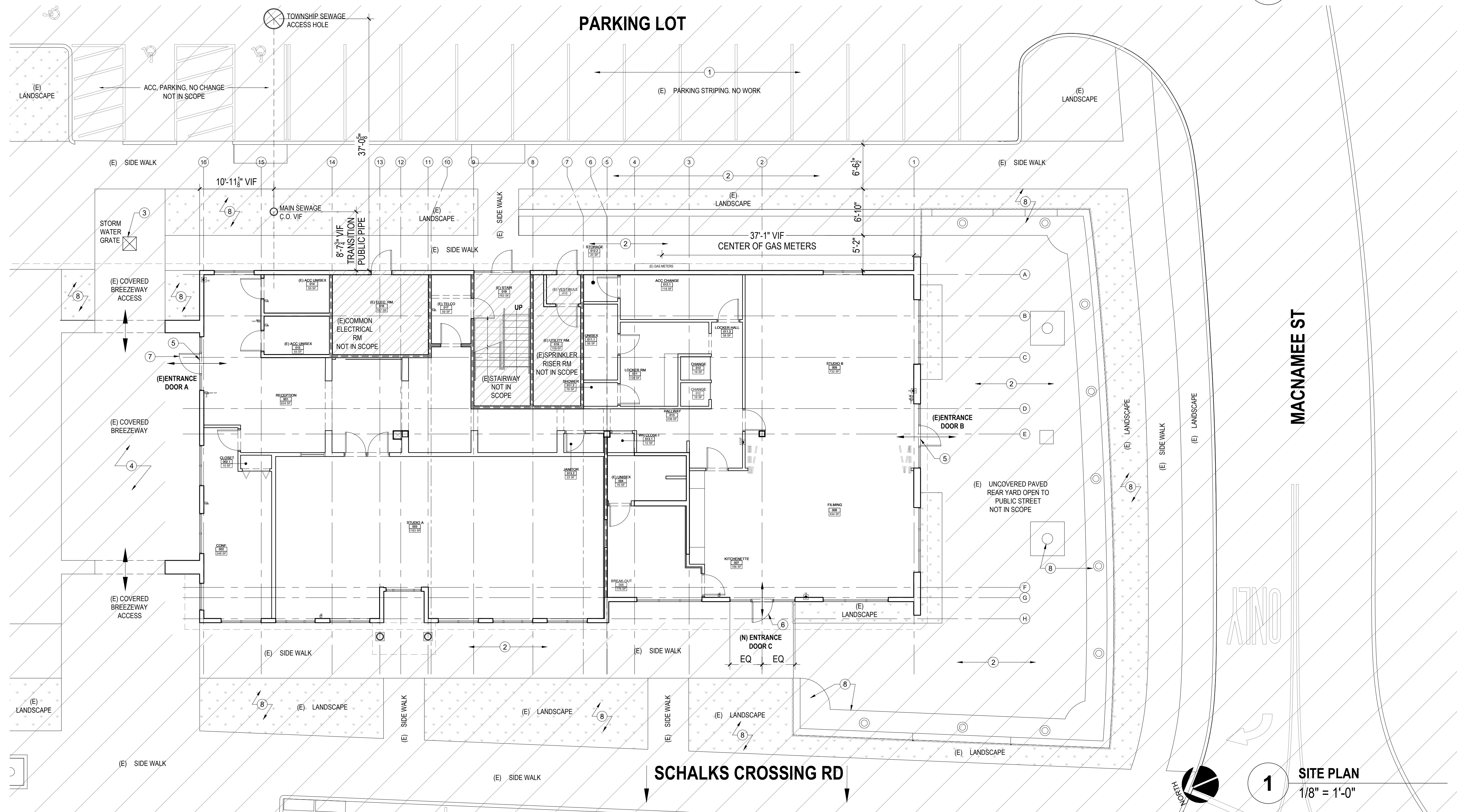
LEGEND - SITE PLAN

ISSUED FOR PLAN CHECK 10/07/2024

DATE 09/20/2024

SITE PLAN

A-1.00



1 SITE PLAN
1/8" = 1'-0"

REVISION

ISSUE FOR PLAN CHECK 10/07/2024

DATE 09/20/2024

DRAWN BY: BL CHECKED BY: BL

DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585.490.6941

ALL CONCEPTUAL ILLUSTRATIONS SHOWN ON THIS SHEET ARE THE INTELLECTUAL PROPERTY OF BLD INC. ANY REPRODUCTION, MODIFICATION, DISTRIBUTION, OR OTHER USE WITHOUT THE WRITTEN CONSENT OF THE OWNERS OF BLD INC. IS STRICTLY FORBIDDEN. UNAUTHORIZED USE OF THESE PLANS EXCEPT FOR THE SPECIFIC PROJECT AND DESIGNATED LOCATION IS NOT ALLOWED.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

5 SCHALKS CROSSING RD SUITE 210
PLAINSBORO TOWNSHIP, NJ 08536

APN:
18-01404-0000-00043-0000-C202

REVISION

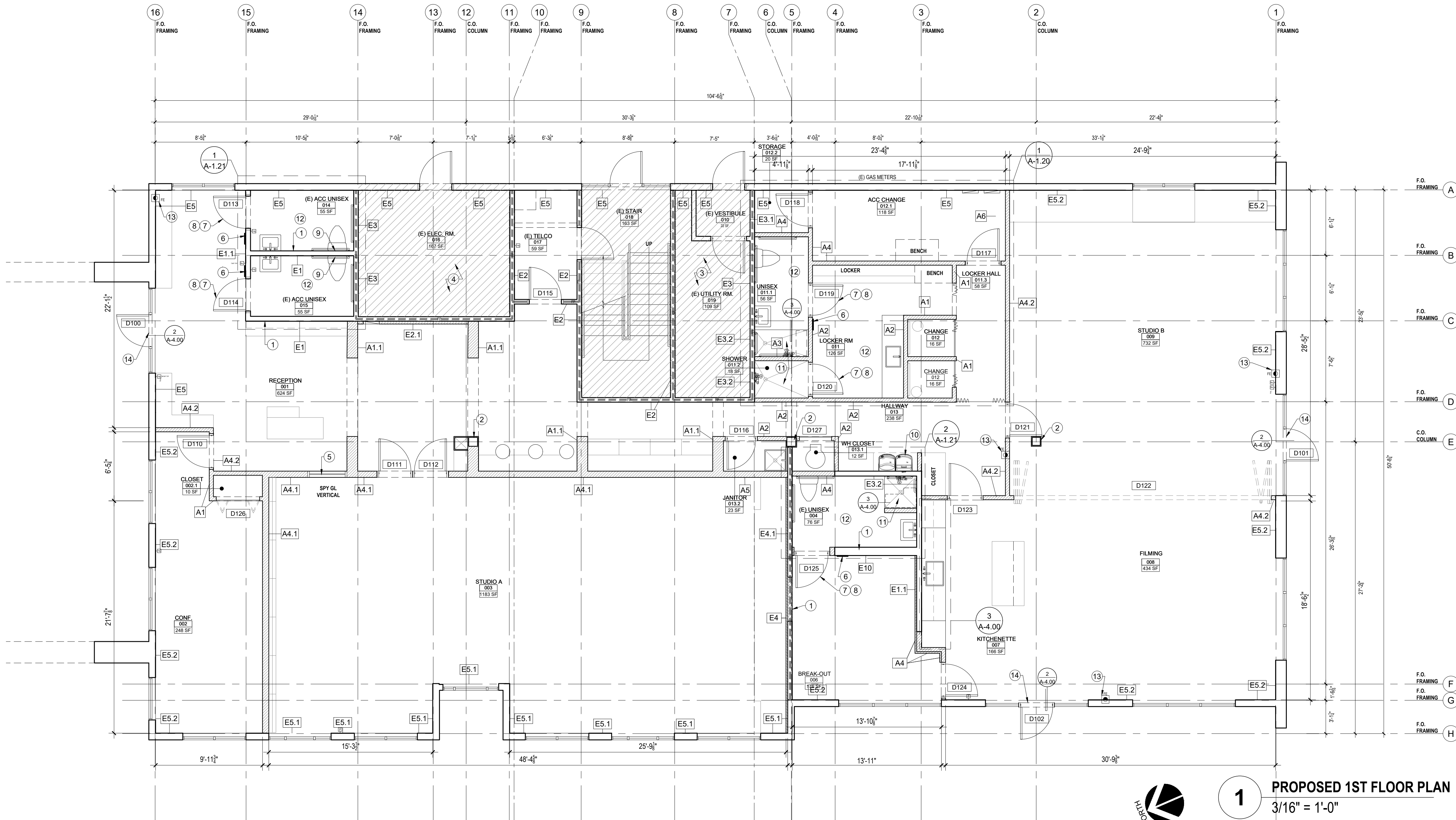
ISSUED FOR
PLAN CHECK 10/07/2024

DRAWN BY: BL CHECKED BY: BL

DATE: 09/20/2024

FLOOR PLAN

A-1.10



1 PROPOSED 1ST FLOOR PLAN
3/16" = 1'-0"

KEY NOTES - FLOOR PLAN

- (E) BATHROOM WALLS & (E) FIRE PARTITIONS EXTEND TO DECK VIF
- (E) PLUMBING CHASE / STRUCTURAL COLUMN. VIF LOCATION AND DIMENSION IN FIELD
- (E) COMMON SPRINKLER RISER ROOM. NOT IN SCOPE
- (E) COMMON ELECTRICAL ROOM. NOT IN SCOPE
- (E) SEE THRU WINDOW, 7'-2 1/16" W X 3'-4 1/16" H REUSED AND RELOCATED. SEE (E) PLAN
- SIGNAGE INDICATING USE BY EITHER SEX FOR SINGLE-USE FACILITIES. UNISEX SYMBOL TO COMPLY WITH ACC. CODE. SEE ADA GUIDELINES
- UNISEX BATHROOM DOOR HANDLE TO HAVE PRIVACY LATCHES ON DOORS. SEE DOOR HARDWARE SCHEDULE
- PER ADA 309.4, OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS (22.2 N) MAXIMUM.
- PLUMBING FIXTURES AND GRAB BARS TO BE REUSED. VERIFY ADA COMPATIBILITY AND CONFIRM WITH OWNER ON REUSE
- ELKAY HIGH LOW DRINKING FOUNTAIN W/ BOTTLE FILLER. REFER TO ACC DIAGRAM AND MFR. MANUAL FOR INSTALLATION HEIGHTS
- SHOWER FLOOR PRE-SLOPED TO DRAIN PRIOR TO TILE FINISH. 1:48 PITCH MAX. GROUT COLOR TO MATCH TILE
- THE FLOOR OF TOILET ROOMS SHALL HAVE A HARD AND NONABSORBENT SURFACE THAT EXTENDS UPWARD 4" ONTO WALLS
- (N) SEMI-RECESSED FIRE EXTINGUISHER CABINET PER ADA 307.2 PROTRUSION LIMITS. SEE FIRE FOR SPECS
- ALUMINUM NON-SLIP DOOR RAMP AT ENTRY/EXIT DOORS, TYP. VIF (E) THRESHOLD CONDITION

LEGEND - FLOOR PLAN

- NO PROPOSED WORK
- (E) WALL
- (N) WALL
- (E) FIRE PARTITION
- WALL PARTITION TYPE TAG. SEE A.0.10 FOR DETAIL
- KEYNOTES

CODE COMPLIANCE

- 1.) UNIFORM CONSTRUCTION CODE (NJ U.C.C.): NJAC 5:23
 - 1.1 BUILDING SUBCODE (5:23-3.14): INTERNATIONAL BUILDING CODE/2021 - NJ ED
 - 1.2 ELECTRICAL SUBCODE (5:23-3.16): NATIONAL ELECTRICAL CODE (NFPA 70)/2020
 - 1.3 PLUMBING SUBCODE (5:23-3.15): NATIONAL STANDARD PLUMBING CODE/2021, NJ ED
 - 1.4 ENERGY SUBCODE (5:23-3.18): ASHRAE 90.1-2019 (COMMERCIAL)
 - 1.5 MECHANICAL SUBCODE (5:23-3.20): INTERNATIONAL MECHANICAL CODE/2021
 - 1.6 FEUL SUBCODE (5:23-3.22): INTERNATIONAL FUEL GAS CODE/2021

2.) NJ ADMINISTRATIVE CODE: NJAC 10:122

3.) NJ BARRIER-FREE SUBCODE: NJAC 5:23-7 & CHAPTER 11 OF IBC/2021 & ICC A117.1-2017

USE AND OCCUPANCY CLASSIFICATIONS

SECTION	USE AND OCCUPANCY CLASSIFICATION
304	OCCUPANCY GROUP B - BUSINESS
303.1.2	CONFERENCE ROOM CLASSIFIED AS GROUP B OCCUPANCY W/ <50 PEOPLE IN OCCUPANT LOAD AND <750 S.F. IN AREA

BUILDING HEIGHT AND AREA MODIFICATIONS

ALLOWABLE HEIGHT AND BUILDING AREAS			
	TABULAR	ACTUAL	
TABLE 504.3	BUILDING HEIGHT	70 FT	14 FT
TABLE 504.4	NUMBER OF STORIES	4	1
TABLE 506.2	AREA	54,000 SF	4,638 SF

FIRE RESISTANCE RATING REQUIREMENTS

FIRE RESISTANCE RATING REQUIREMENTS (TABLE 601) CONSTRUCTION CLASSIFICATION: V-A		
STRUCTURAL FRAME		1 HR
BEARING	EXT	1 HR
	INT	1 HR
NONBEARING	EXT (705.5)	0 HR
	INT	0 HR
FLOOR CONSTRUCTION		1 HR
ROOF CONSTRUCTION		1 HR

MEANS OF EGRESS

OCCUPANT LOAD (TABLE 1004.5)					
OCCUPANCY	ROOM#	AREA (SF)	TOTAL AREA (SF)	OLF	TOTAL OCC. LOAD
EXERCISE ROOMS (GROSS)	003	1183	2361	50	48
	008	437			
	009	741			
BUSINESS (GROSS)	001	824	1541	150	11
	006	176			
	007	168			
	013	373			
LOCKER ROOMS (GROSS)	011, 012	462	462	50	10
ASSEMBLY (NET)	002	248	248	15	17
STORAGE (GROSS)	002.1	14	14	300	1
POSTED MAX OCC.					87

EXIT REQUIREMENTS (W/ SPRINKLERS)					
SECTION	CAPACITY OF EGRESS COMPONENTS			PROPOSED WIDTH	
	OCC. LOAD	FACTOR	REQ. WIDTH (IN.)		
1005.3.2	87	0.2	17.4	(2) @ 36"	
1010.1.1	MINIMUM CLEAR WIDTH OF DOORS				32"
1006.2.1	COMMON PATH OF EGRESS TRAVEL DISTANCE (W/ SPRINKLER SYSTEM)				100'
1017.2	EXIT ACCESS TRAVEL DISTANCE (W/ SPRINKLER SYSTEM)				300'

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

MINIMUM NUMBER OF REQUIRED PLUMBING FACILITIES (TABLE 7.21.1)			
USE GROUP	B		
POSTED OCC. LOAD	87		
FACILITIES	URINALS	REQUIRED	PROVIDED
		0	0
	WATER CLOSET	M 2	2
		W 2	2
	LAVATORY	M 1	3
	W 1	3	
SERVICE SINK	1	1	

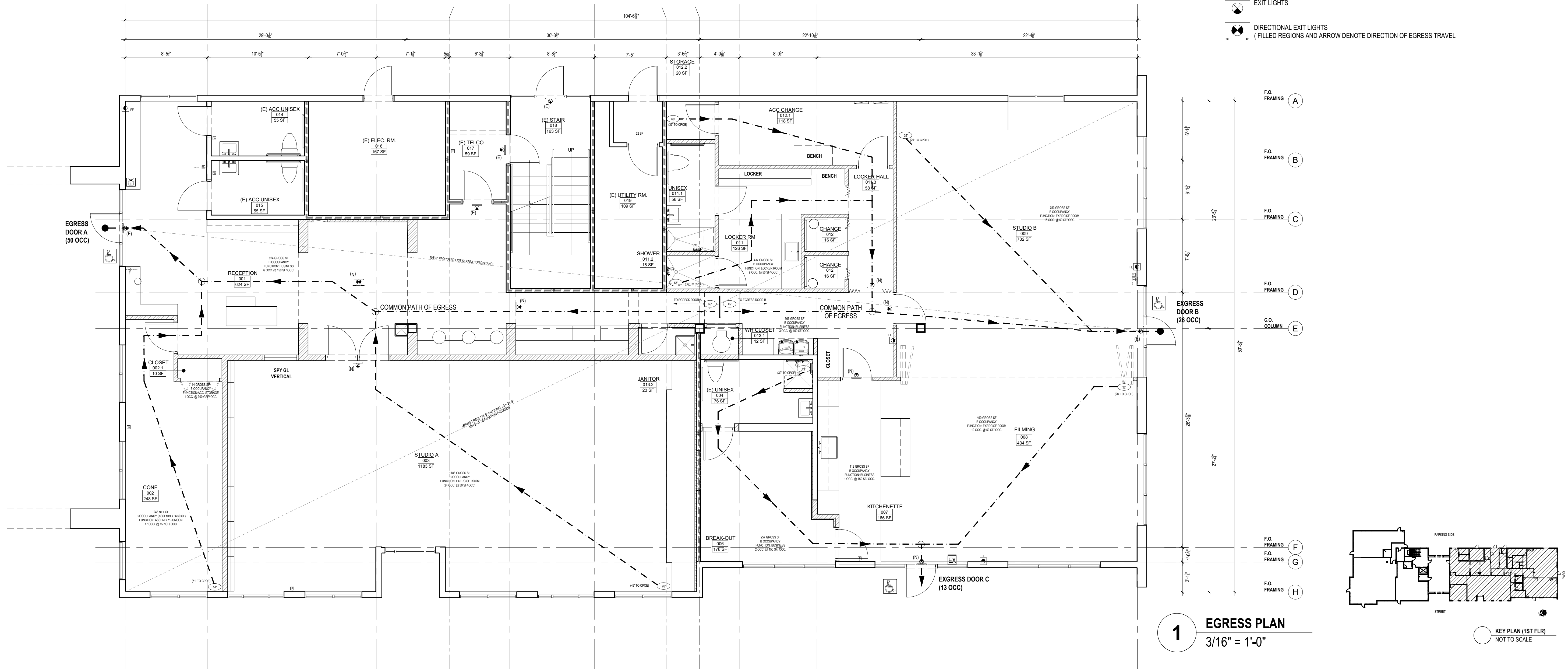
EGRESS DOORS

EGRESS DOOR ID	DOOR CAPACITY		
	A	B	C
NOMINAL WIDTH PROVIDED	36"	36"	36"
CLEAR DOOR WIDTH PROVIDED	33"	33"	33"
EGRESS WIDTH/OCCUPANT	0.2"	0.2"	0.2"
MAX. CAPACITY PER CLEAR DOOR WIDTH	165	165	166
ACTUAL OCCUPANT LOAD	50	26	13

CODE LEGEND

- FIRE PARTITIONS:**
 - - - - - FP - - - - - EXISTING FIRE PARTITIONS
- PATH OF EGRESS:**
 # - TRAVEL DISTANCE TO AN EXIT
 ○ START OF COMMON PATH OF EGRESS / CPOE (MAX 100 FEET)
 ● EGRESS EXIT (MAX 300 FEET)
- FIRE EXTINGUISHERS:**
 [E] FE - FIRE EXTINGUISHER/ SEMI-RECESSED CABINET (MAX. 75)
 CONFIRM LOCATION AND QUANTITY WITH FIRE
- [F] (E) FIRE ALARM EMERGENCY PULL DEVICE, VIF. SEE FIRE FOR LOCATION AND QUANTITY**
- NOTES:**
- FE PROVIDED BY TENANT & INSTALLED BY G.C.
 - FE LOCATIONS ARE ESTIMATED & ARE TO BE CHECKED W/ LOCAL FIRE OFFICIAL
 - TACTILE EXIT SIGNS TO BE INSTALLED AT EACH EXIT (NJ-HBC SECTION 1011.3)
 - KNOX OR KEY BOX LOCATIONS TO BE COORDINATED W/ LOCAL FIRE SUB-CODE OFFICIAL & LOCAL FIRE MARSHALL
 - ALL INTERIOR NON-BEARING WALLS ARE TO HAVE (1) LAYER OF 1/2" UL CLASSIFIED GWB ON BOTH SIDES OF WALL
 - ALL INTERIOR BEARING WALLS (UL DESIGN NO. U423) SHOULD BE CONTINUOUS FOR ENTIRE WALL LENGTH INCLUDING WHERE BEARING POSTS ARE AT
 - AN IDENTIFYING EMBLEM FOR STRUCTURES W/ TRUSS CONSTRUCTION SHALL BE PERMANENTLY AFFIXED TO LEFT OF THE MAIN ENTRANCE (NJAC 5:23-3.54(e)). FINAL LOCATION TO BE COORDINATED W/ LOCAL FIRE SUB-CODE OFFICIAL & LOCAL FIRE MARSHALL
 - USE THESE PLANS FOR CODE REFERENCE. EGRESS & RATED PARTITIONS ONLY - SEE A-0.05 DRAWING SERIES FOR DIMENSIONS & OTHER INFORMATION NOT SHOWN
 - SEE ELECTRICAL DWGS. FOR EXIT LIGHTS, FIRE ALARM, EMERGENCY LIGHTING

- LIFE SAFETY SIGNAGE:**
- [EX] EXIT TACTILE SIGNAGE
 - [A] INDICATES ACCESSIBLE MEANS OF ENTRY OR EGRESS
 - [L] EXIT LIGHTS
 - [D] DIRECTIONAL EXIT LIGHTS (FILLED REGIONS AND ARROW DENOTE DIRECTION OF EGRESS TRAVEL)



1 EGRESS PLAN
3/16" = 1'-0"

KEY PLAN (1ST FLR)
NOT TO SCALE

DIGITAL STAMP
 BENJAMIN LIN
 RA, NCIDQ, LEED AP ID+C
 WWW.BLD-INFO.COM
 BEN@BLD-INFO.COM
 585-490-6941

ALL CONSULTANTS AND SUBMITTALS SHALL BE THE PROPERTY OF BLD INC. ANY REPRODUCTION, REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE OWNER OF BLD INC. IS STRICTLY PROHIBITED. UNAUTHORIZED USE OF THESE PLANS, SPECIFICALLY FOR THE REPRODUCTION AND SEPARATION OF PARTS, IS NOT ALLOWED.

CONSULTANTS
 PROJECT NAME

OM LIFE LIVING

5 SCHALKS CROSSING RD SUITE 210,
 PLAINSBORO TOWNSHIP, NJ 08536

APN:
 18-01404-0000-00043-0000-C202

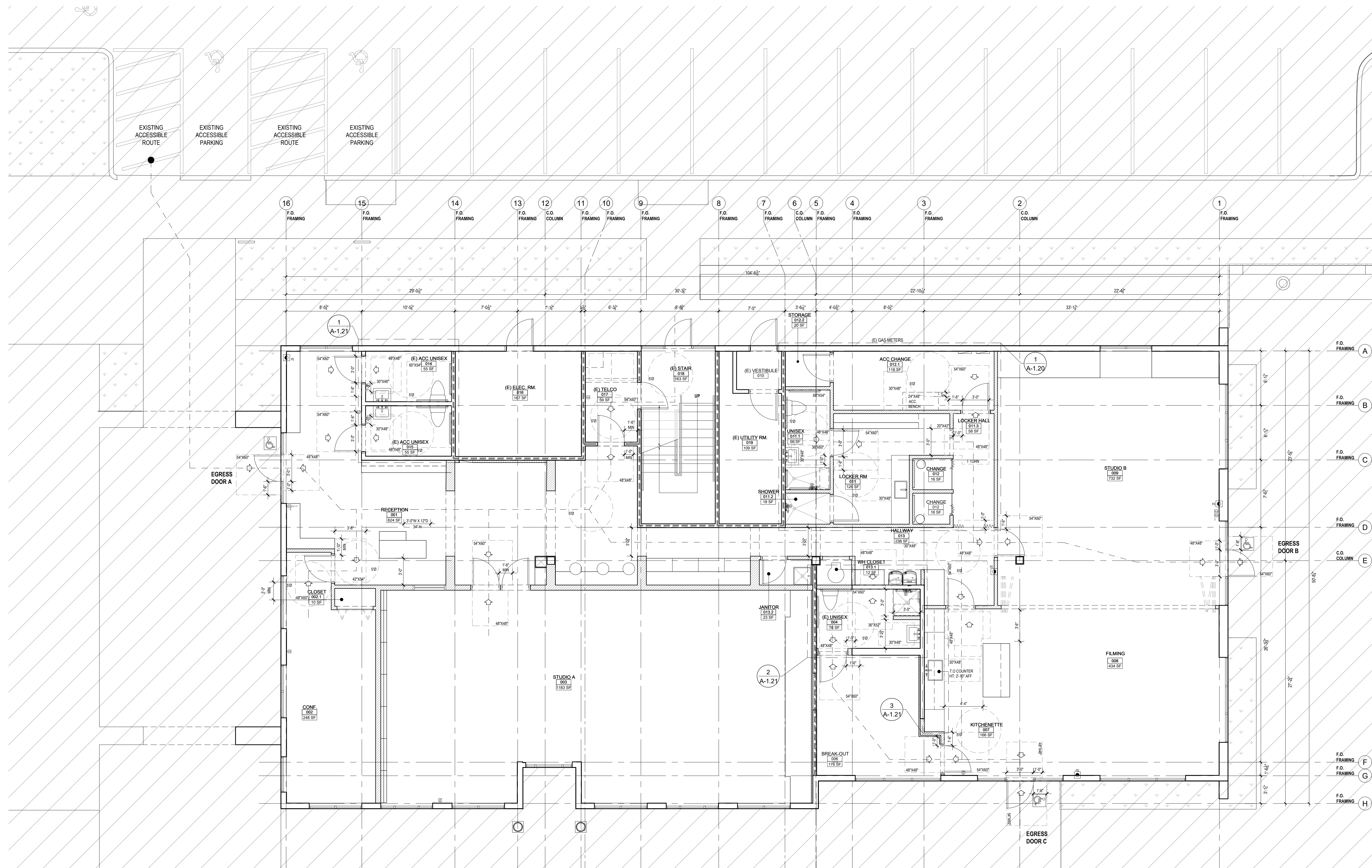
ISSUED FOR
 PLAN CHECK 10/07/2024

ISSUED FOR
 PLAN CHECK 10/07/2024

DRAWN BY: BL CHECKED BY: BL

DATE: 09/20/2024

EGRESS PLAN &
 PLUMBING CALC.



1 ACCESSIBILITY PLAN
3/16" = 1'-0"

BLD.
ARCHITECTURE + DESIGN

DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585-490-6941

ALL COPYRIGHTS AND ILLUSTRATIONS DERIVED FROM THIS SHEET ARE THE INTELLECTUAL PROPERTY OF BLD INC. ANY REPRODUCTION, MODIFICATION, OR DISTRIBUTION OF THIS SHEET WITHOUT THE WRITTEN CONSENT OF THE OWNERS OF BLD INC. IS STRICTLY FORBIDDEN. UNAUTHORIZED USE OF THESE PLANS, EXCEPT FOR THE INTENDED PROJECT AND DESIGNATED LOCATION, IS NOT ALLOWED.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

PROJECT ADDRESS
5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536
APN:
18-01404-0000-00043-0000-C202

REVISION

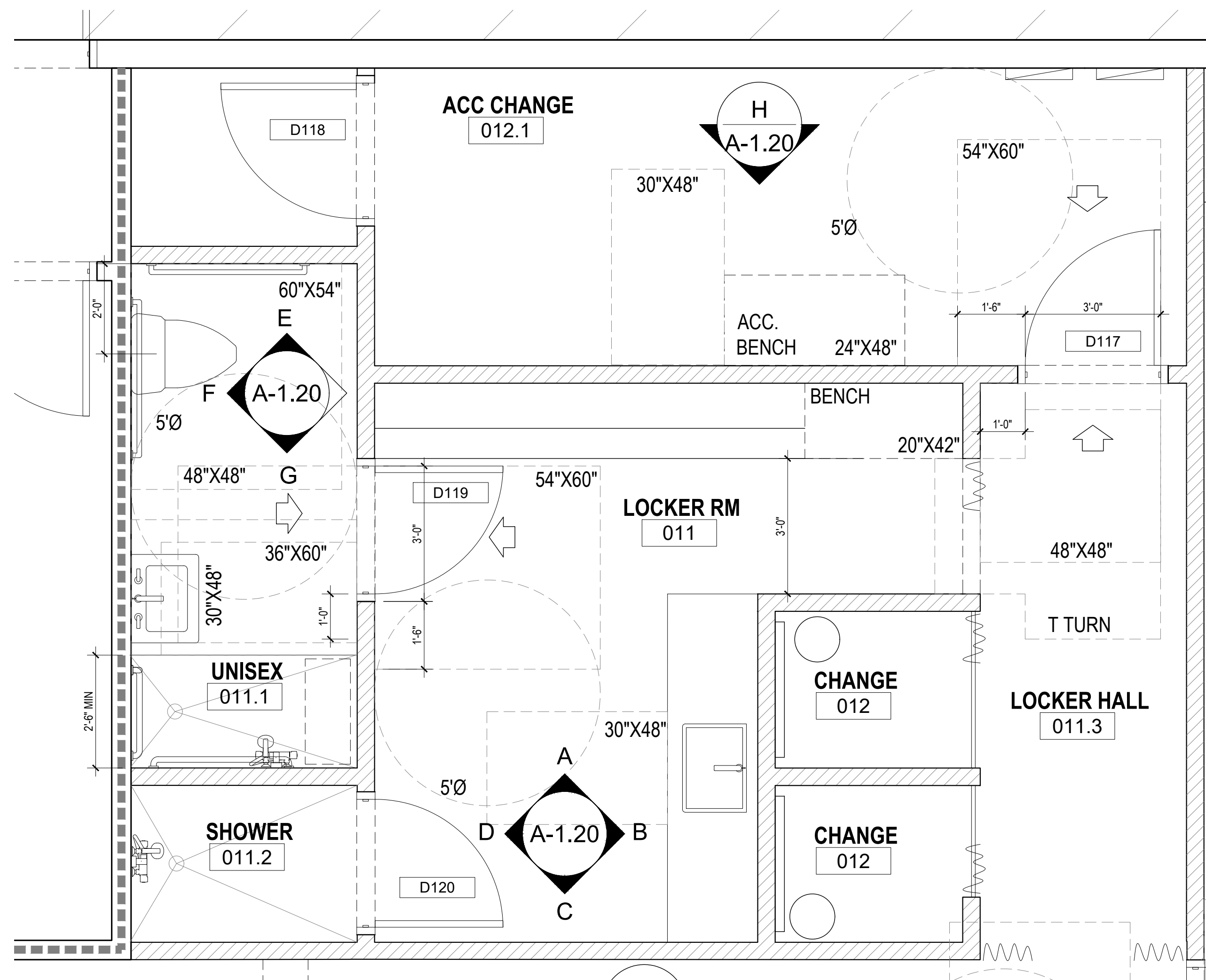
ISSUE FOR PLAN CHECK 10/07/2024

DRAWN BY: BL CHECKED BY: BL

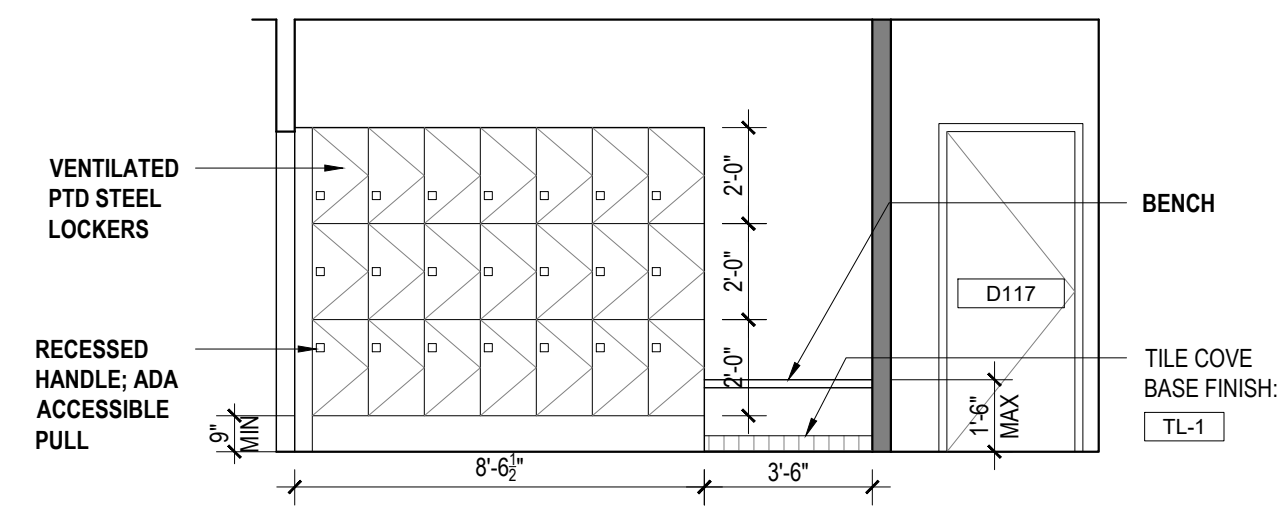
DATE: 09/20/2024

ACCESSIBILITY PLAN

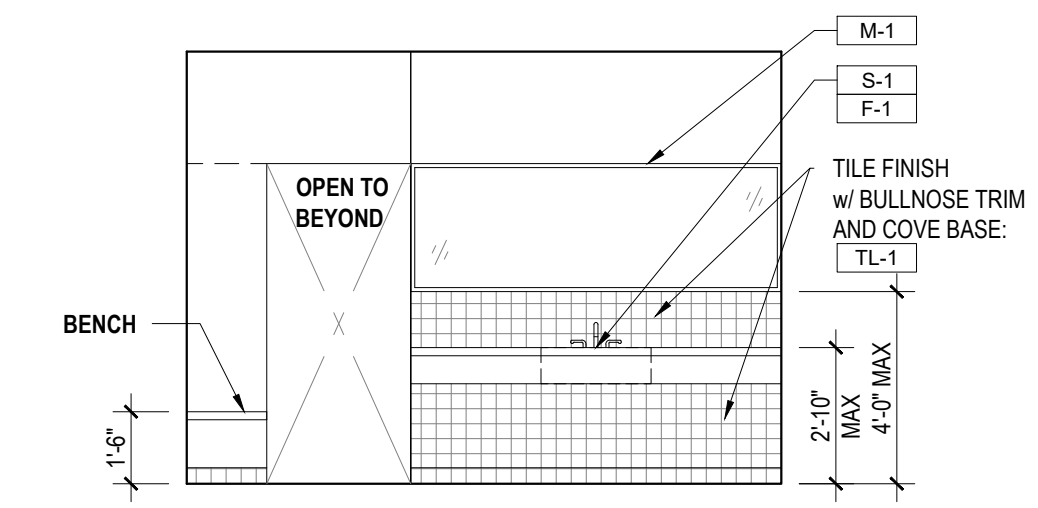
A-1.12



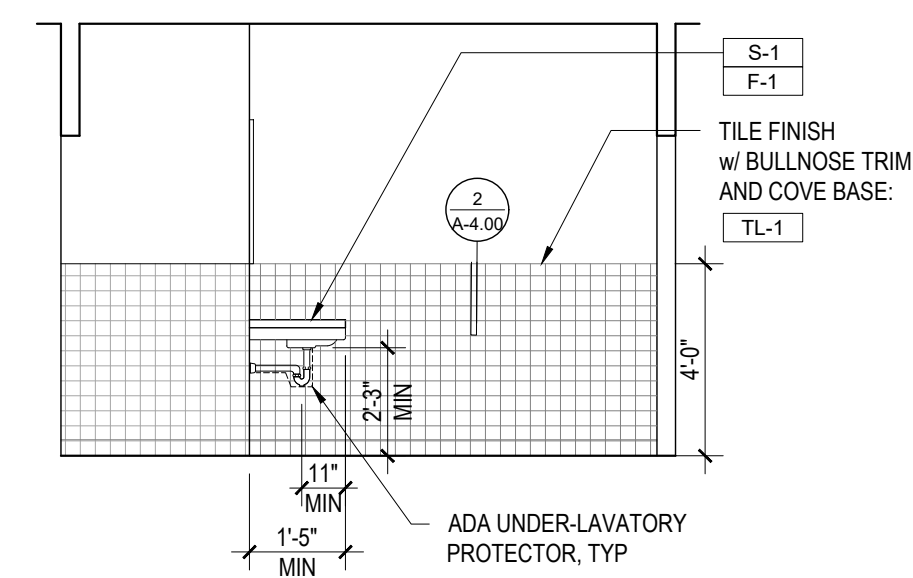
1 ENLARGED PLAN - 011 LOCKER ROOM
1/2" = 1'-0"



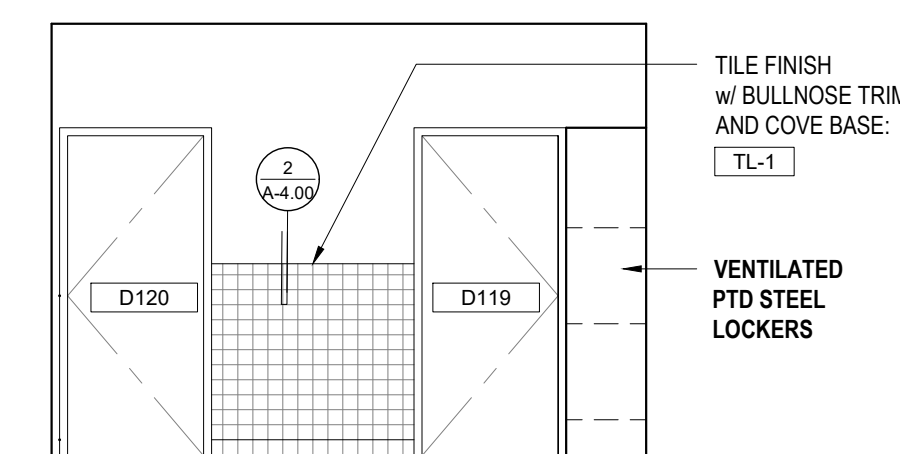
A 011 LOCKER RM ELEV
1/4" = 1'-0"



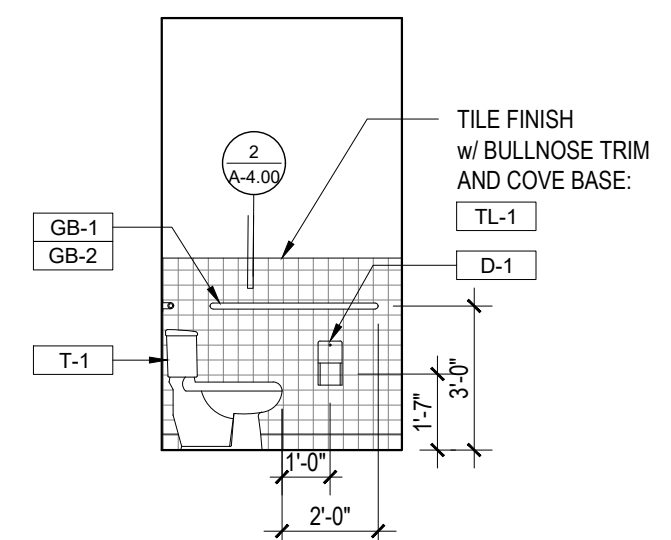
B 011 LOCKER RM ELEV
1/4" = 1'-0"



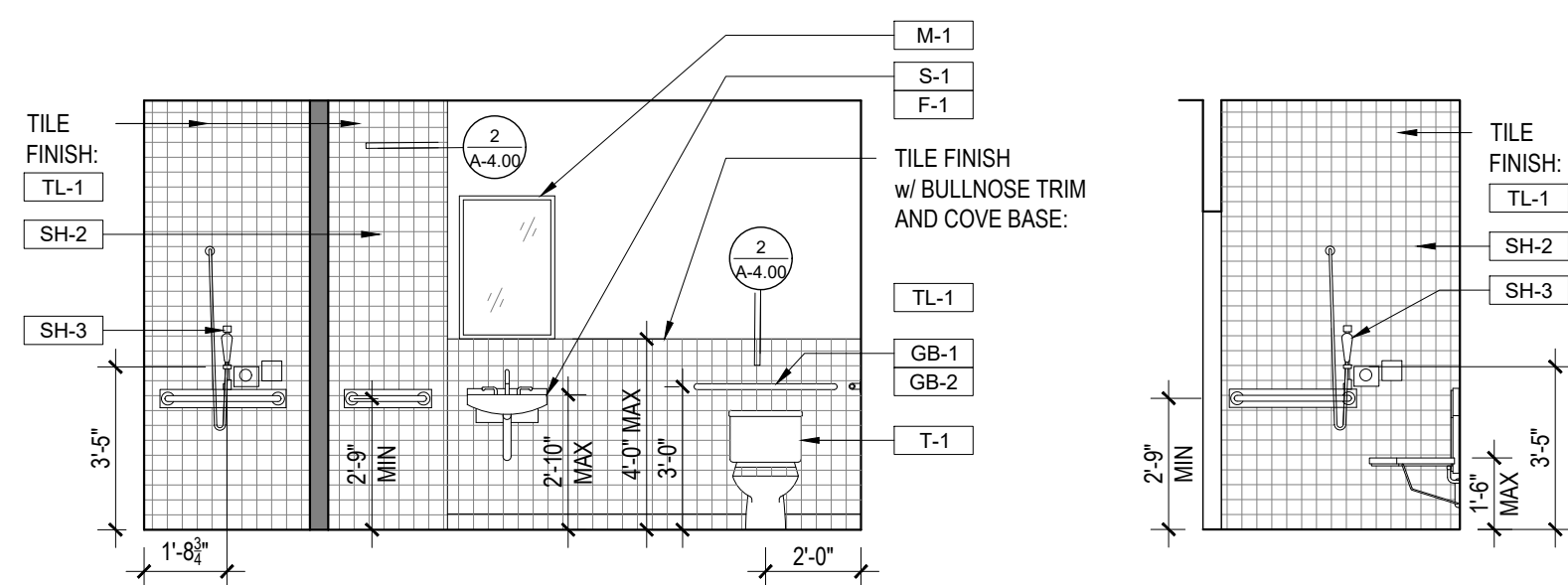
C 011 LOCKER RM ELEV
1/4" = 1'-0"



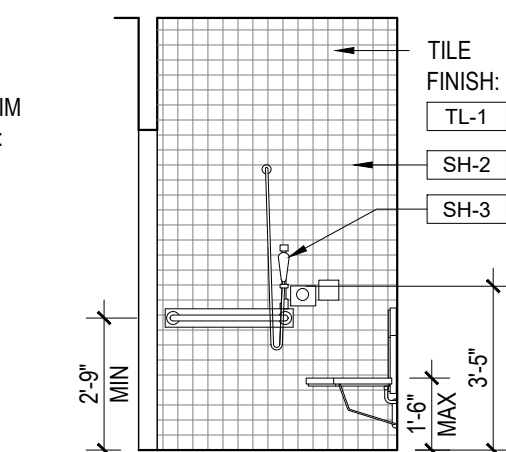
D 011 LOCKER RM ELEV
1/4" = 1'-0"



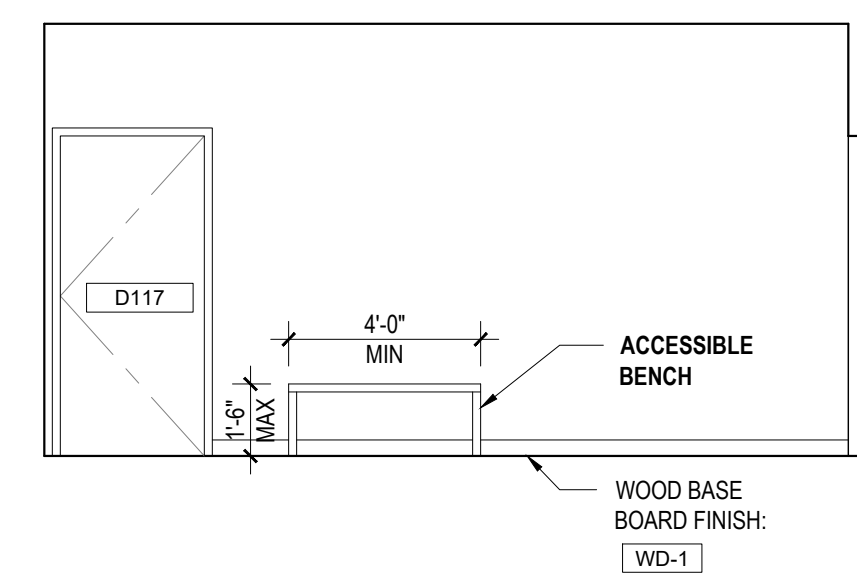
E 011.1 RESTROOM ELEV
1/4" = 1'-0"



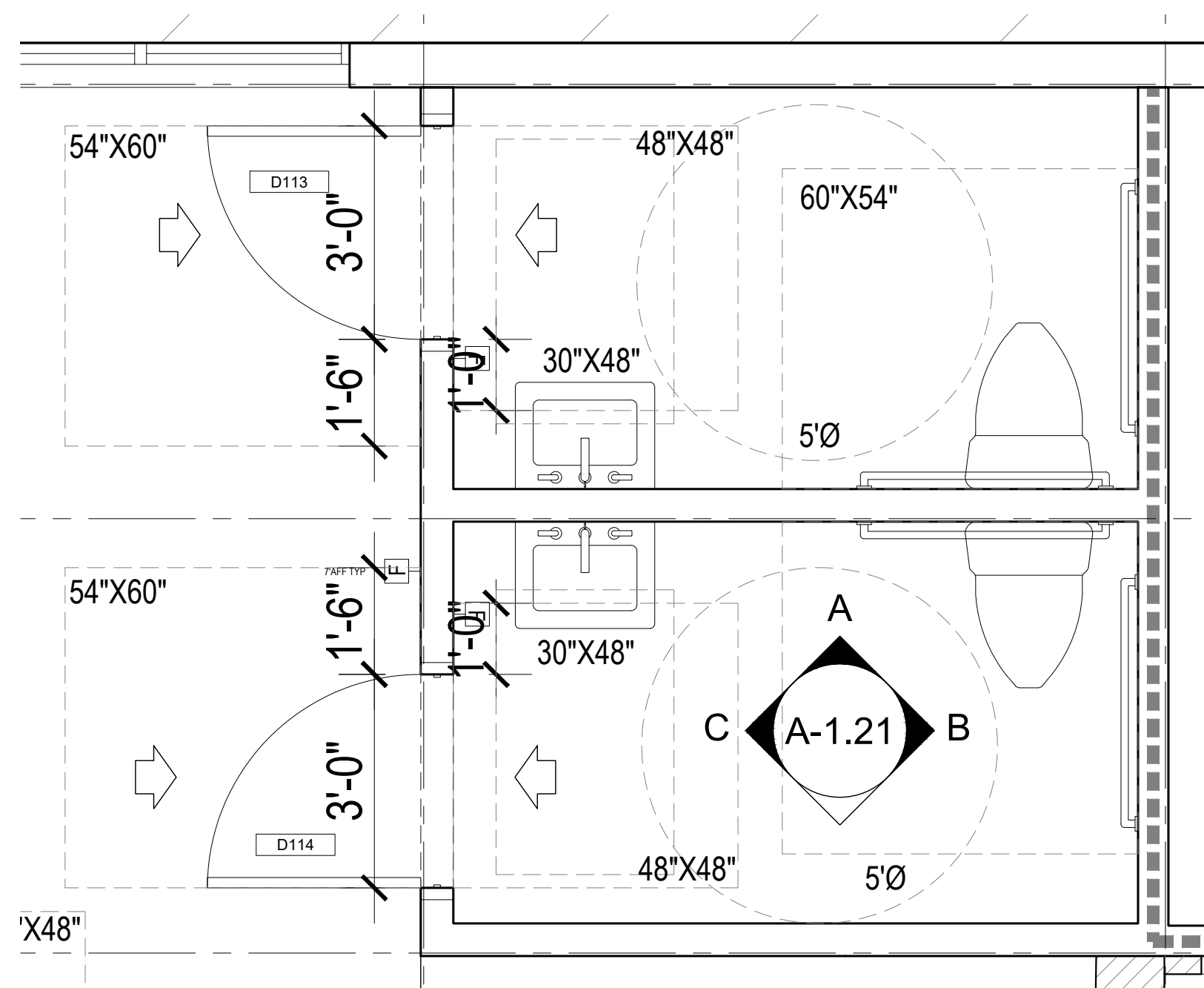
F 011.1 RESTROOM ELEV
1/4" = 1'-0"



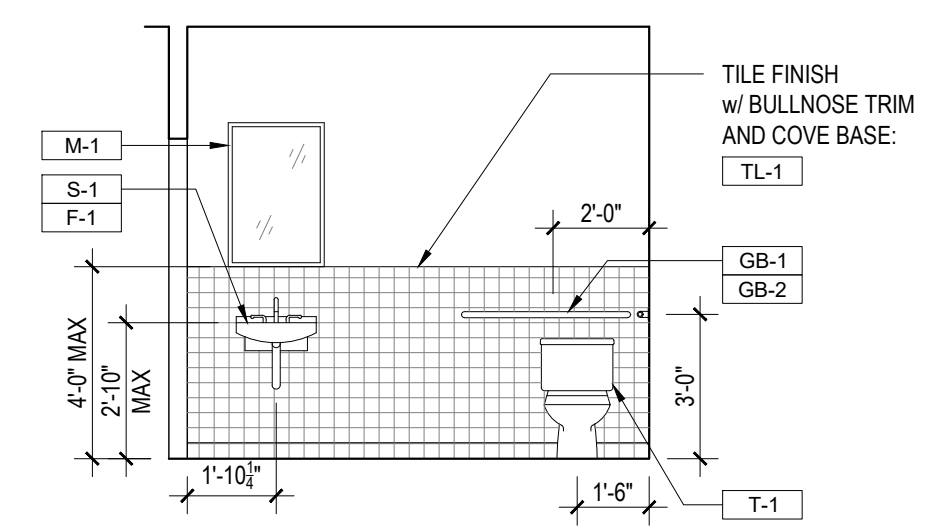
G 011.1 RESTROOM ELEV
1/4" = 1'-0"



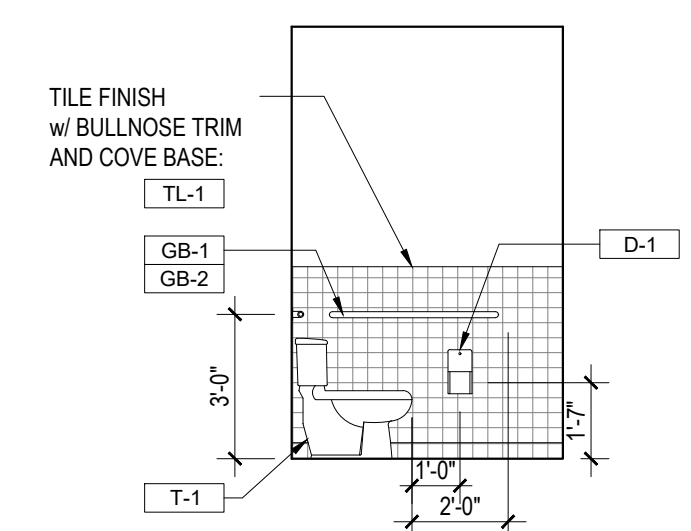
H 012.1 ACC CHANGE RM ELEV
1/4" = 1'-0"



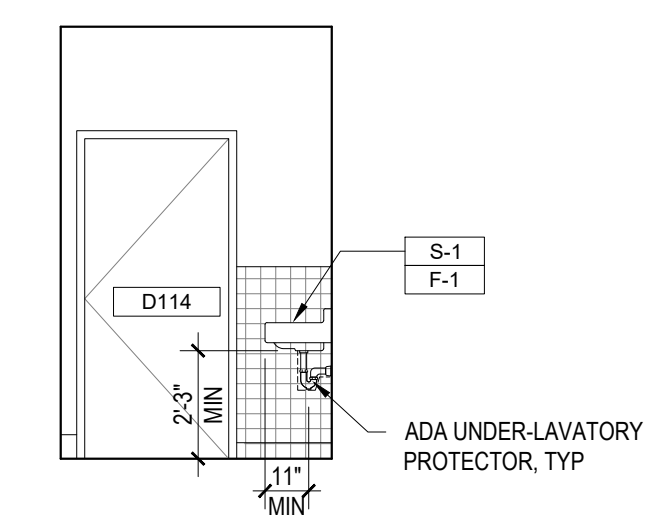
1 ENLARGED PLAN - 014 & 015 ACC UNISEX RESTROOMS
1/2" = 1'-0"



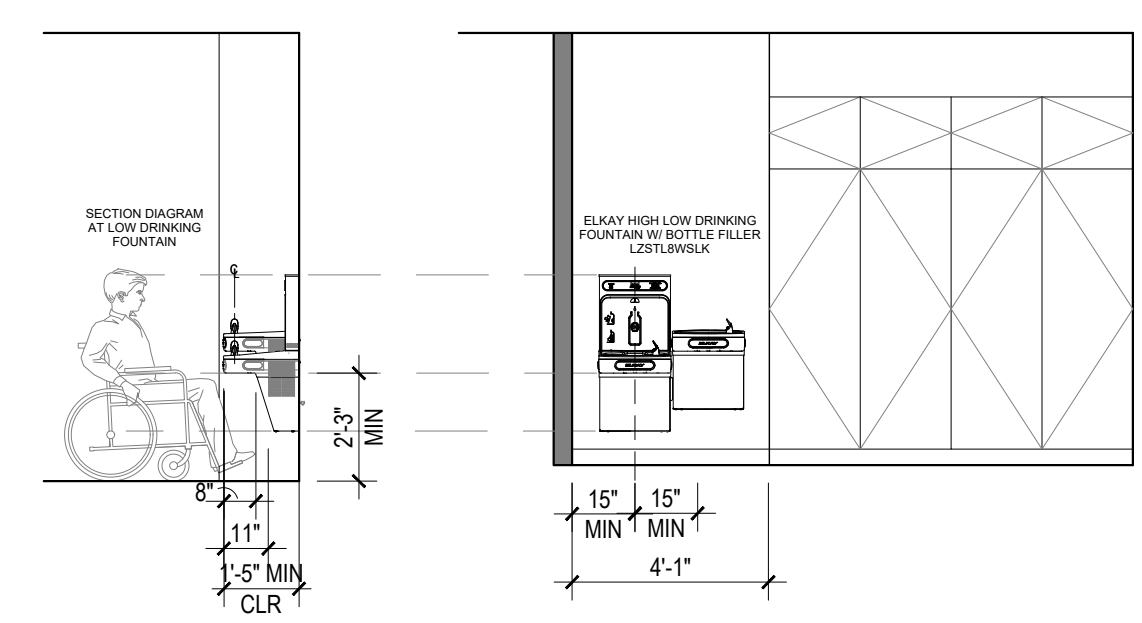
A 015 RESTROOM ELEV
1/4" = 1'-0"



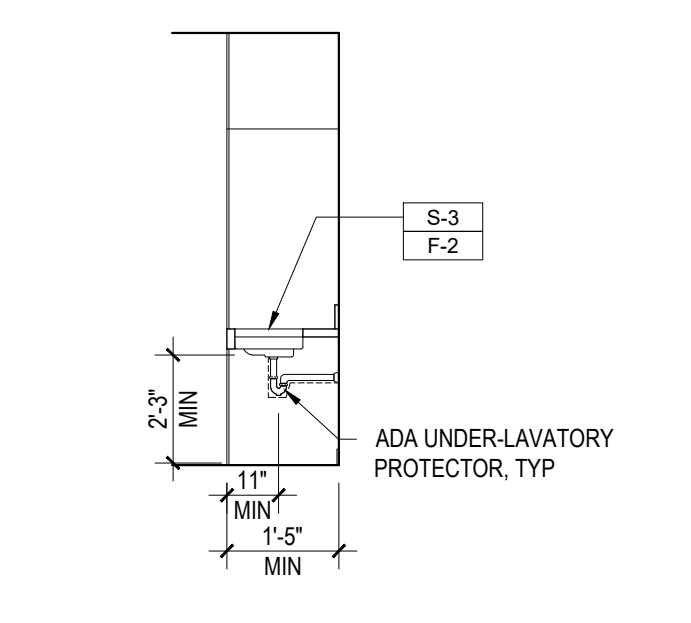
B 015 RESTROOM ELEV
1/4" = 1'-0"



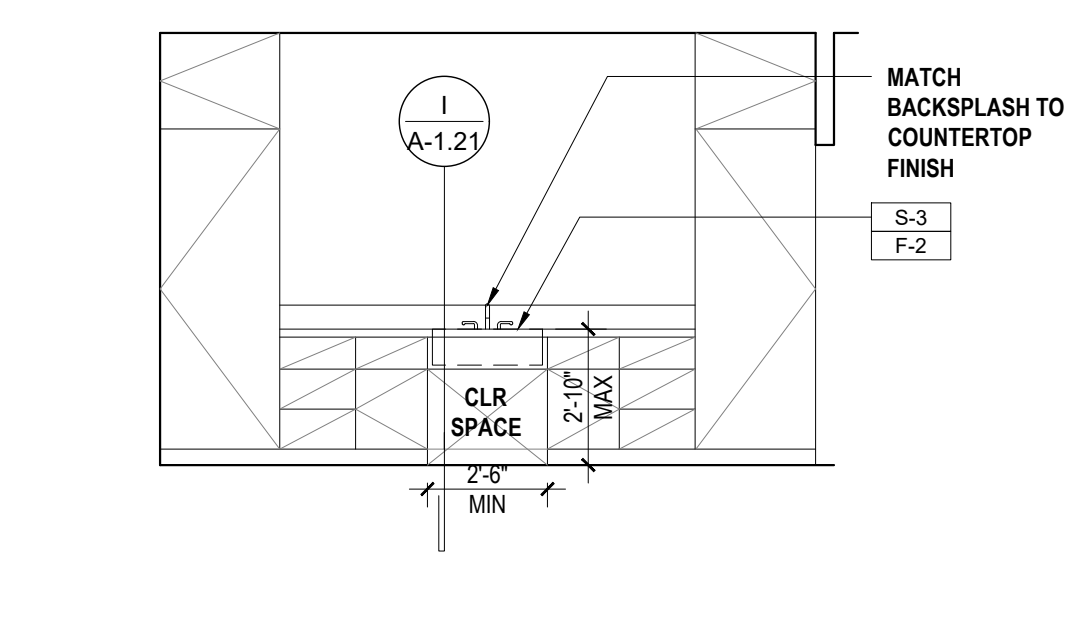
C 015 RESTROOM ELEV
1/4" = 1'-0"



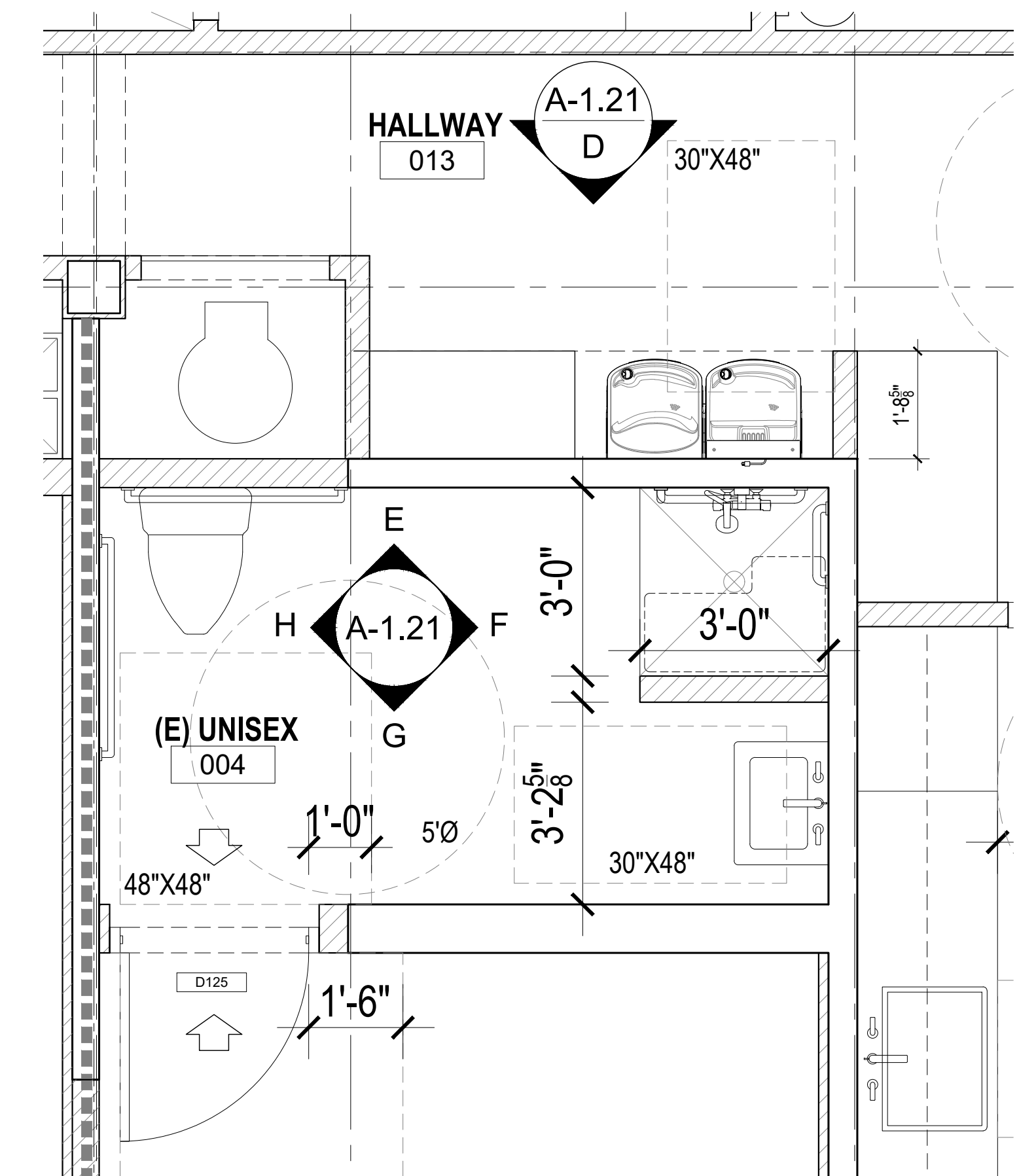
D 013 HALLWAY ELEV
1/4" = 1'-0"



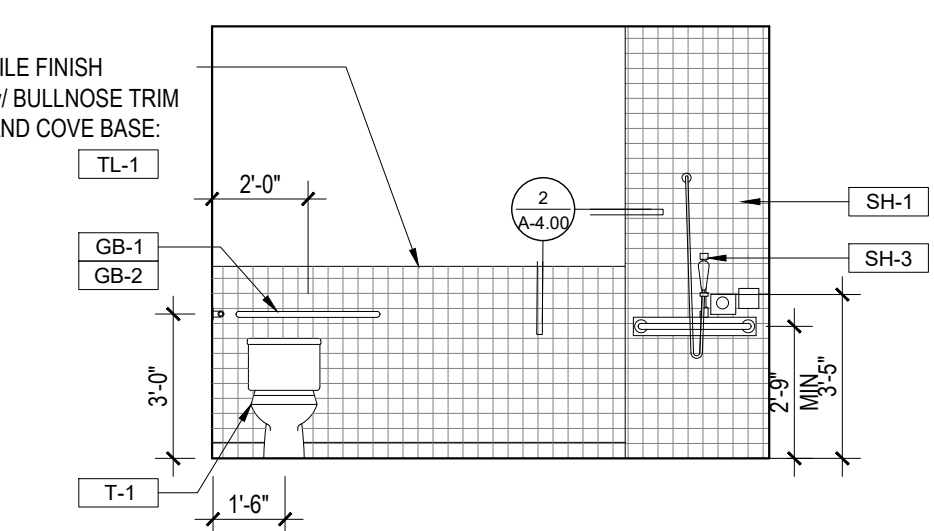
I 007 KITCHENETTE SINK DETAIL
1/4" = 1'-0"



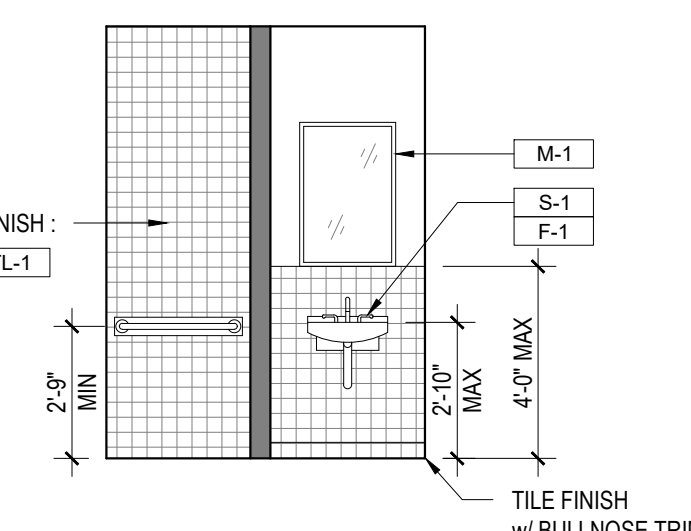
J 007 KITCHENETTE SINK ELEVATION
1/4" = 1'-0"



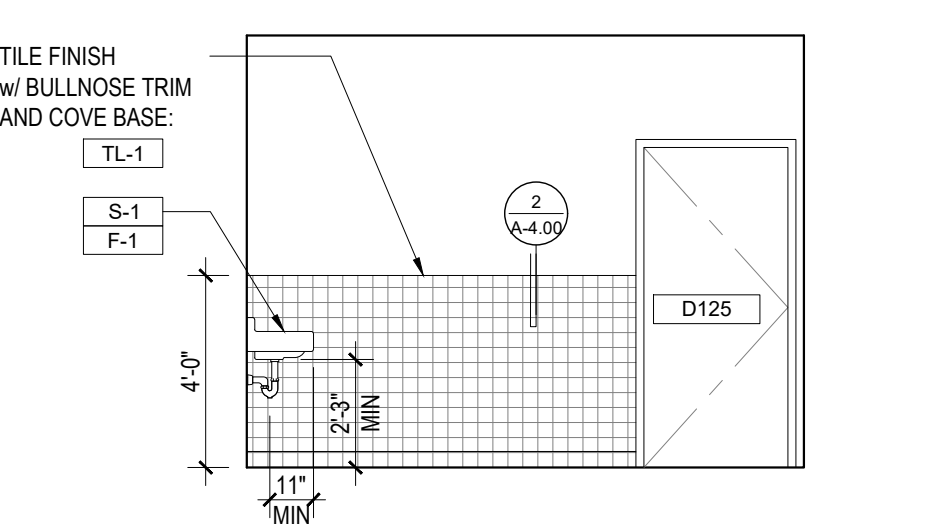
2 ENLARGED PLAN - 013 UNISEX RESTROOM 004 & HALLWAY
1/2" = 1'-0"



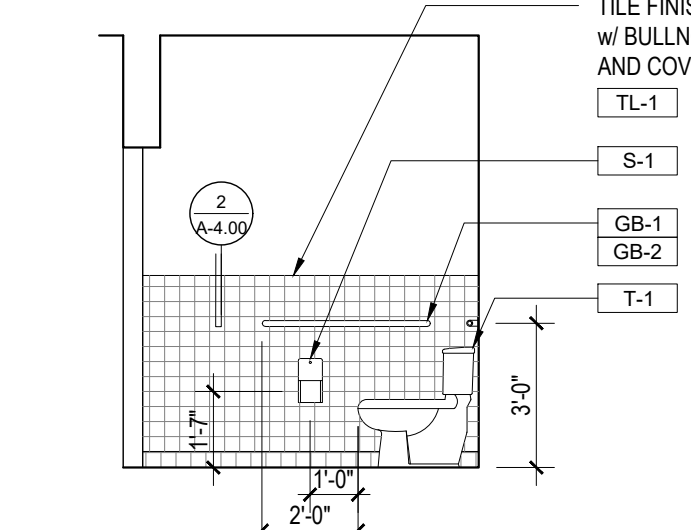
E 004 UNISEX BATHROOM ELEV
1/4" = 1'-0"



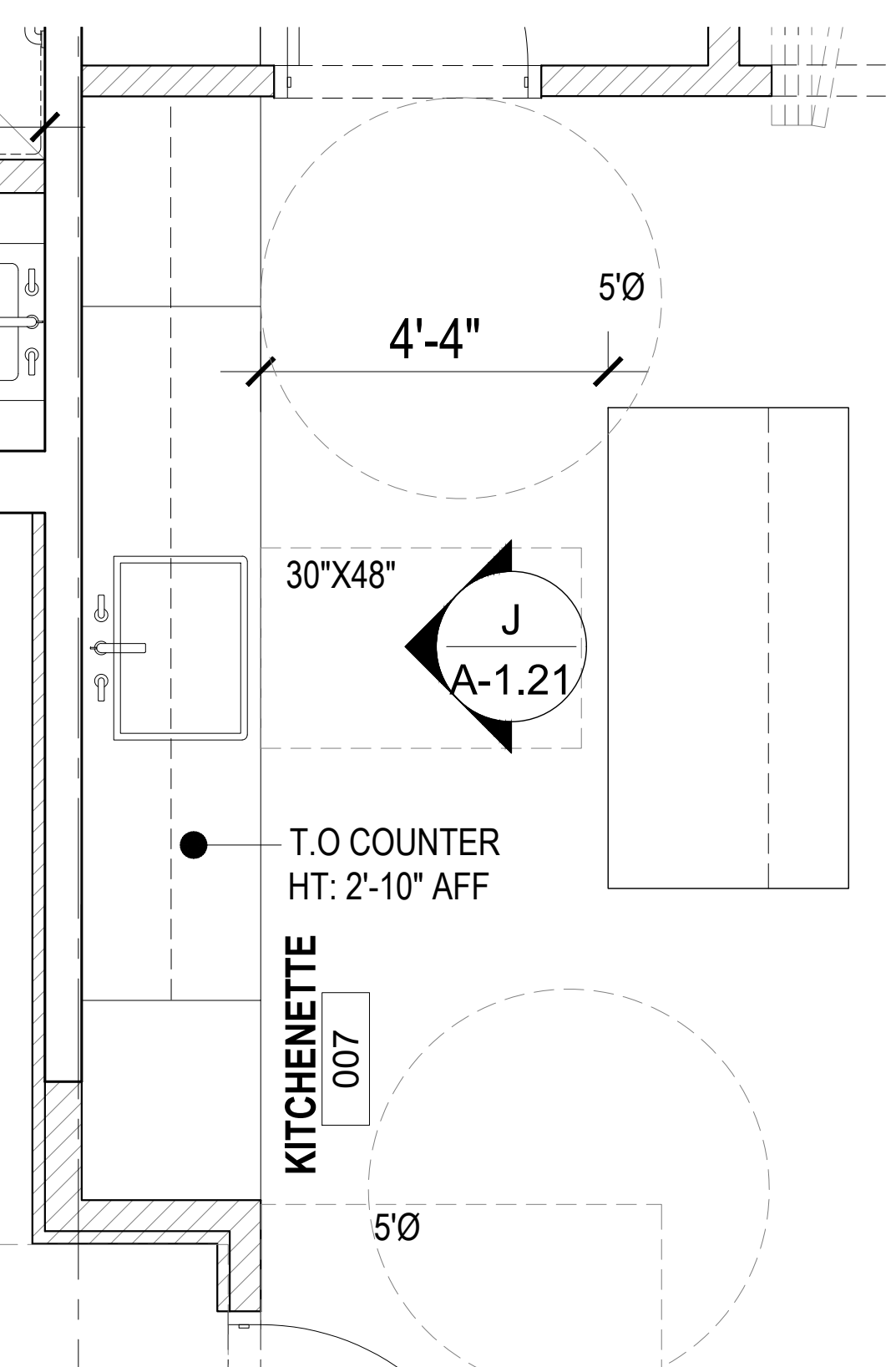
F 004 UNISEX BATHROOM ELEV
1/4" = 1'-0"



G 004 UNISEX BATHROOM ELEV
1/4" = 1'-0"



H 004 UNISEX BATHROOM ELEV
1/4" = 1'-0"



3 ENLARGED PLAN - 007 KITCHENETTE
1/2" = 1'-0"

LIGHTING SCHEDULE

MARK	SYMBOL	DESCRIPTION	HEIGHT (AFF) TO B.O. FIXTURE	MANUFACTURER	PRODUCT/ CATALOGUE NUMBER	STYLE/ FINISH	QTY / LENGTH(S)	LED COLOR	WATT	LUMENS	BULB	NOTES
L1	⊕	WALL SCONCE	7'-0" AFF	ALL MODERN	LUNA SINGLE LIGHT GLASS STEEL DIMMABLE ARMED SCONCE	AGED BRASS	(6)	3000K	60 W 120V	800	E26 BASE A19 BULB LED	DIMMABLE, DAMP RATED
L2	—△—△—△—	TRACK W/ HEADS	8'-6" AFF	JUNO	TRACK HEAD: T283L-G2-30K-90CRI-PDIM-SP-WH TRACK: JUNO HD COMMERCIAL TRAC 120V, 2-CIRCUIT/2-NEUTRAL TRACK SYSTEM	WHITE TRACK AND HEADS	(1) 8' L TRACK W/ (6) HEADS & (1) 4' L TRACK W/ (3') HEADS	3000K	26 W 120V	2400	LED	POSITION TRACK AT CENTER OF WALL DISPLAY FIXTURES. SEE PLAN AND CONFIRM FIXTURE LOCATION PRIOR TO INSTALL
L3	---	LED STRIP LIGHTS - MILLWORK MOUNTED	SEE MILLWORK DWG	QTL LIGHTING OR SIMILAR	VV2SW-3.0-30-DRY-STD-45-P1-WH-BW-CL2-SST-ST	BLACK	SEE PLAN & FIXTURE DWG	3000K	3 W PER LF	264 LUMENS PER LF	LED	DIMMABLE. LED RECESSED IN MILLWORK COVE, MOUNT W/ HINGE-HMB-M MOUNTING BRACKET ACCESSORY. SEE MILLWORK DWG FOR DETAIL
L4	○	5" CANLESS LED DOWNLIGHT	10'-0"	JUNO	JPDZ5 - DB - ALO10 - SWW5WD - 90 CRI - JPDZ5NCMF - MVOLT ZT10 - WWH	WHITE, WHITE TRIM	(70)	SWITCHABLE 700K, 3000K, 3500K, 4000K, 5000K	ADJUSTABLE 8.1W-13.6W-15W	SWITCHABLE 700, 1000, & 1200	LED	DIMMABLE. NEW CONSTRUCTION MODEL. SEE MEP FOR EMERGENCY LIGHT SPECIFICATIONS, QTY, AND LOCATION
L5	-----	LED STRIP LIGHTS - CEILING COVE MOUNTED	SEE TYP. DETAILS	QTL LIGHTING OR SIMILAR	VERS-06-SW-6.0HE-30-WET-ENC/CL-N/A-S2-BW-BW-CL-CL-WH-CL2-CC-WH, VERS-ENCAPSULATED (06) WET RATED	WHITE	SEE PLAN	3000K	25 W 120V	575 LUMENS PER LF	LED	MOUNTED IN CEILING RECESSED COVE. SEE TYPICAL DETAILS. RATED WET IP67
L6	⊕	SUSPENDED PENDANT LIGHTS	7'-0" AFF	WEST ELM	SCULPTURAL GEO PENDANT, CLEAR GLASS, 8" SHADE DIA	ANTIQUE BRASS	(3)	2700K	9 W	800	E26 BASE LED G25	DIMMABLE W/ TRIAC. CANOPY 6"DIA, MIN 17.5" -MAX HANGING LENGTH: 81.5"

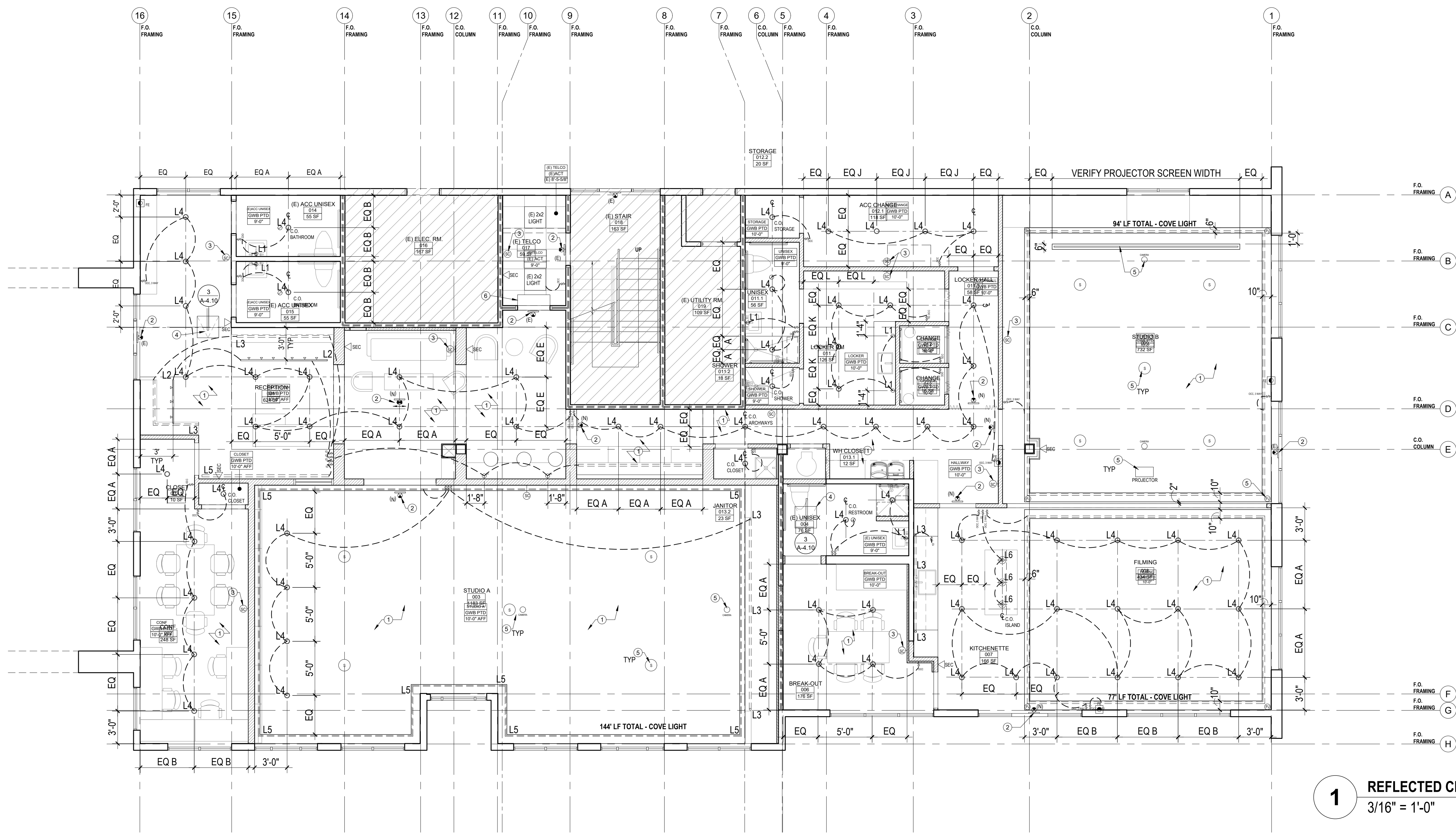


DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585-490-6941

ALL COPYRIGHTS AND ILLUSTRATIONS SHOWN ON THIS SHEET ARE THE INTELLECTUAL PROPERTY OF BLD INC. ANY REPRODUCTION, MODIFICATION, OR DISTRIBUTION OF THIS SHEET WITHOUT THE WRITTEN CONSENT OF THE OWNERS OF BLD INC. IS STRICTLY PROHIBITED. UNAUTHORIZED USE OF THESE PLANS, SPECIFICATIONS, OR ILLUSTRATIONS FOR ANY OTHER PROJECT OR LOCATION IS NOT ALLOWED.

CONSULTANTS



1 REFLECTED CEILING PLAN
3/16" = 1'-0"

RCP KEYNOTES

- TYPICAL CEILING HEIGHT SHALL BE 10'-0" UNLESS OTHERWISE INDICATED ON RCP
- ALL EXIT EMERGENCY LIGHTS TO BE MIN 80" CLEAR FROM FINISH FLOOR. WALL MOUNTED EXIT LIGHTS TO BE CENTERED ABOVE EGRESS EXIT AND UNOBSTRUCTED IN VIEW. EXIT AND DIRECTIONAL SIGNS SHALL HAVE A LUMINANCE ON THE FACE OF SUCH SIGNS OF NOT LESS THAN 50 LUX. THE WORDS USED ON SUCH SIGNS SHALL BE IN BLOCK LETTERS AT LEAST 6 INCHES IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4 IN
- SMOKE AND CARBON MONOXIDE COMBO DETECTOR TO BE HARDWIRED. VERIFY EXISTING FIRE ALARM DEVICE FOR REUSE
- PROVIDE ACCESS PANEL AT (E) WATER MAIN SHUT-OFF VALVES AND OTHER UTILITY SWITCHES/ SHUT-OFFS, VIF
- CONFIRM AV EQUIPMENT (PROJECTOR, SPEAKER, WIFI, AND CAMERA LOCATIONS, HEIGHTS, AND QUANTITY WITH OWNER AV VENDOR AND INSTALLER
- (N) MINISPLIT AIR HANDLER WALL MOUNTED ABOVE DOOR AT 8' AFF. SEE MECH FOR CONDENSER SPEC AND LOCATION

GENERAL NOTES

- (N) LIGHTING TO BE COORDINATED WITH DUCT HEIGHTS AND LOCATION PRIOR TO INSTALL
- VERIFY (E) EXIT EMERGENCY LIGHTS FOR RELOCATION AND REUSE
- REMOVE (E) SWITCHES NOT SCHEDULED FOR REUSE/ RELOCATION
- ALL EXIT EMERGENCY TO BE LIT IN THE FIRST 1.5 HOURS AFTER A FAILURE. EXIT EMERGENCY LIGHTING MUST PROVIDE AN AVERAGE OF ONE FOOT-CANDLE AND NO LESS THAN 0.1 FOOT CANDLE AT ANY POINT ALONG THE PATH OF EGRESS. SEE ELEC FOR DETAIL

LEGEND

- GWB CEILING
- AREA NOT IN SCOPE. (E) TO REMAIN

SYMBOL	DESCRIPTION	STYLE/ FINISH	NOTES
⊕	SWITCH	WHITE	
⊕	DOUBLE SWITCH	WHITE	
⊕	SWITCH - W/ DIMMER	WHITE	
⊕	3 WAY SWITCH	WHITE	
⊕	3 WAY SWITCH - W/ DIMMER	WHITE	
⊕	CEILING MOUNTED SMOKE AND CARBON MONOXIDE DETECTOR COMBO		
⊕	CEILING MOUNTED EXHAUST FAN		
⊕	WALL MOUNTED SMOKE AND CARBON MONOXIDE DETECTOR COMBO		
⊕	CEILING MOUNTED CARBON MONOXIDE DETECTOR		
⊕	EXISTING CEILING MOUNTED SMOKE DETECTOR TO BE REUSED		
⊕	CEILING ACCESS PANEL. 2X2		
⊕	OCCUPANCY/ VACANCY SENSOR		
⊕	COVE MOUNTED MINI PROJECTOR		
⊕	WALL MOUNTED SECURITY CAMERA		

PROJECT NAME

OM LIFE LIVING

PROJECT ADDRESS
5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536
APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUE FOR PLAN CHECK 10/07/2024

DATE 09/20/2024

REFLECTED CEILING PLAN

A-1.50

P&S KEYNOTES

1. DEDICATED 120V GFI DUPLEX
2. CONNECTRAC EXPRESS KIT RACEWAY
3. RELOCATED THERMOSTAT. SEE DEMO PLAN
4. (N) DEDICATED WALL DUPLEX OUTLETS FACE MOUNT W/ RIGID MTL CONDUIT ON (E) CMU WALL
5. (E) MTL CHANNEL RACEWAY TO REMAIN
6. (N) DEDICATED WALL DUPLEX OUTLETS
7. 48" HT MAX TO TOP OF OUTLET
8. (N) MINISPLIT SYSTEM THERMOSTAT. SEE MECH FOR EQUIPMENT SPEC
9. (N) ELECTRIC TANK WATER HEATER 50 AMP FEED AS REQUIRED. SEE MEP FOR EQUIPMENT SPEC
10. (N) POE CAT 6 DATA WIRING FOR SECURITY CAMERA SYSTEM. REFER TO OWNER SECURITY VENDOR FOR EQUIPMENT SPEC AND MOUNTING HT. OWNER TO CONFIRM SCOPE
11. (N) DATA AND POWER RECEPTACLES MOUNTED IN CEILING COVE
12. (N) POWER AND DATA REQUIREMENT FOR IT SERVER RACK. CONFIRM SCOPE AND EXACT POWER/ DATA REQUIREMENT WITH OWNER IT VENDOR
13. (E) INTERCOM TO BE REUSED. VIF CONDITION.
14. ELEC J BOX AT (N) WALL AND CANOPY SIGN LOCATIONS FOR HALO-LIT SIGNAGE. POWER TO BE PAIRED WITH A TIMER. REFER TO VILLAGE GUIDELINE FOR LIT HOURS
15. ELECTRICAL FEED FOR (N) MINISPLIT UNIT IN TELCO ROOM. SEE MEP FOR POWER REQ
16. ELEC AND DATA RECEPTACLES FOR CAMERA SYSTEM, AND PROJECTOR. REFER TO OWNER AV VENDOR FOR SPECS AND REQS
17. ELEC FOR SIGNAGE, 3 TOTAL. SEE SIGNAGE DETAIL A-2.10 FOR HEIGHT AND LOCATION

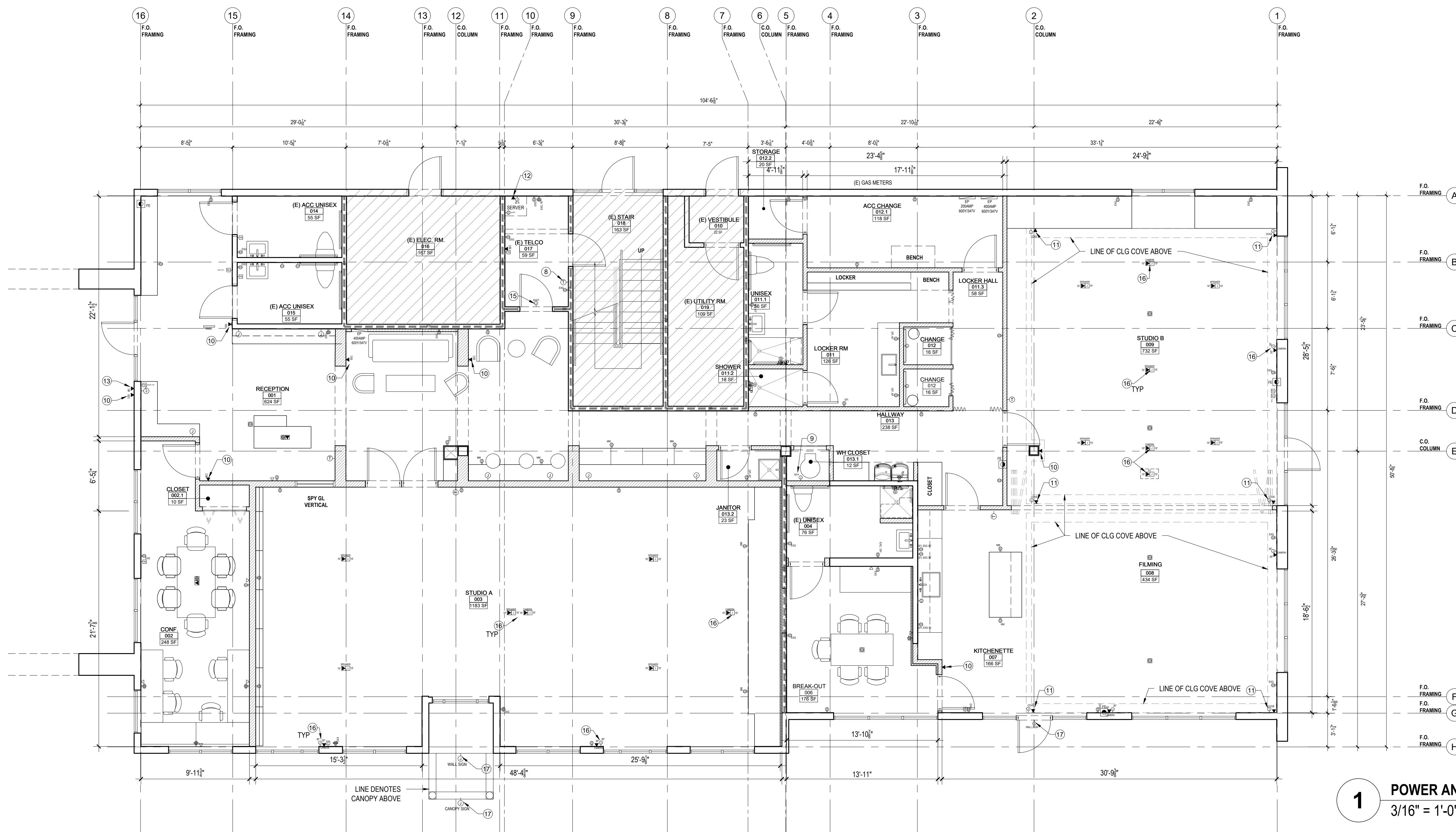
GENERAL NOTES

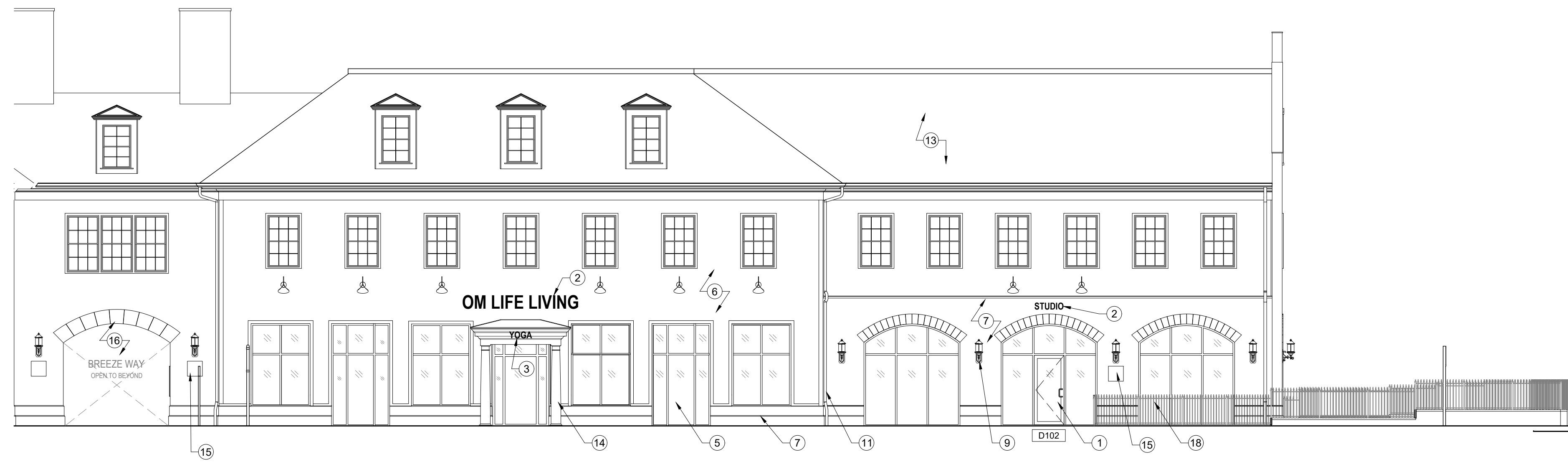
1. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE PROTECTED BY (AFCI) ARC-FAULT INTERRUPTERS
2. ALL RECEPTACLE OUTLETS SHALL BE TAMPER RESISTANT
3. GROUND FAULT PROTECTION (GFCI) IS REQUIRED FOR ALL GRADE ACCESS EXTERIOR OUTLETS, OUTLETS IN BATHROOMS, KITCHENS, BASEMENTS, CRAWL SPACES, GARAGES AND WITHIN 6' OF ANY WATER SOURCE
4. ALL POWER AND DATA RECEPTACLE INSTALLED AT 18" AFF U.O.N. TYP.
5. ALL POWER AND DATA RECEPTACLES NOT SCHEDULED FOR REUSE TO BE REMOVED/ CAPPED

LEGEND

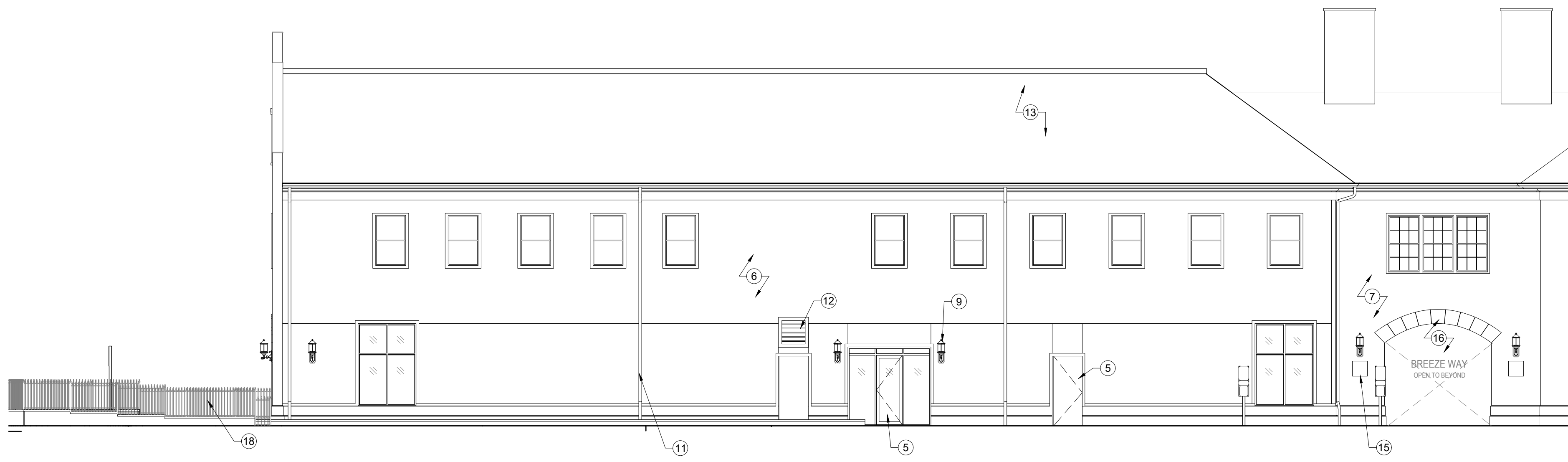
⊕	WALL MOUNTED SINGLE POWER OUTLET
⊕ 20AMP	WALL MOUNTED SINGLE POWER OUTLET - 20 AMP, LIQUID-TIGHT CONDUIT
⊕	WALL MOUNTED DUPLEX POWER OUTLET
⊕	MILLWORK MOUNTED DUPLEX POWER OUTLET
⊕	WALL MOUNTED QUAD POWER OUTLET
⊕	FLOOR MOUNTED DUPLEX POWER OUTLET
⊕	WALL MOUNTED DUPLEX POWER OUTLET W/ GROUND FAULT INTERRUPTER
⊕	WALL MOUNTED QUAD POWER OUTLET W/ GROUND FAULT INTERRUPTER
⊕	120V/240V WALL MOUNTED POWER DUPLEX OUTLET ON DEDICATED CIRCUIT
⊕	WALL MOUNTED DUPLEX POWER OUTLET W/ GROUND FAULT INTERRUPTER
⊕	WALL MOUNTED JUNCTION BOX
⊕	CEILING MOUNTED JUNCTION BOX
⊕	WALL MOUNTED COAX
⊕	WALL MOUNTED SECURITY CAMERA POE
⊕	EXTERIOR GRADE WALL MOUNTED DUPLEX POWER OUTLET
⊕	EXTERIOR GRADE 220V/240V WALL MOUNTED DUPLEX POWER OUTLET
⊕	WALL MOUNTED DOOR BELL DEVICE
⊕	WALL MOUNTED THERMOSTAT
⊕	GARBAGE DISPOSAL DEDICATED JUNCTION BOX
⊕	MILLWORK MOUNTED GARBAGE DISPOSER SWITCH
⊕	RATED ELECTRICAL PANEL
⊕	EXISTING RECEPTACLE SCHEDULED FOR REUSE

1 POWER AND SIGNAL PLAN
3/16" = 1'-0"





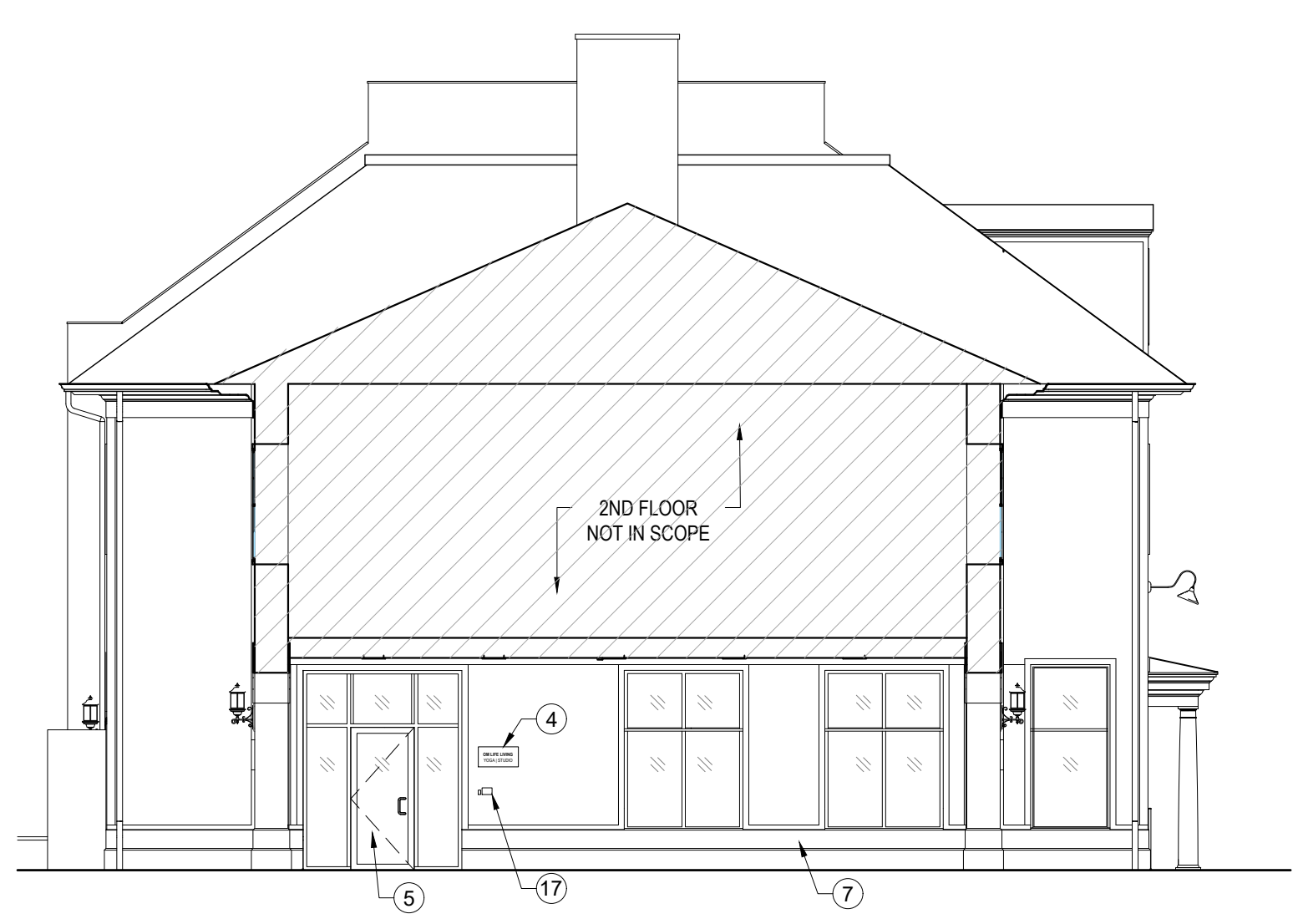
1 EXTERIOR ELEVATION - STREET
1/8" = 1'-0"



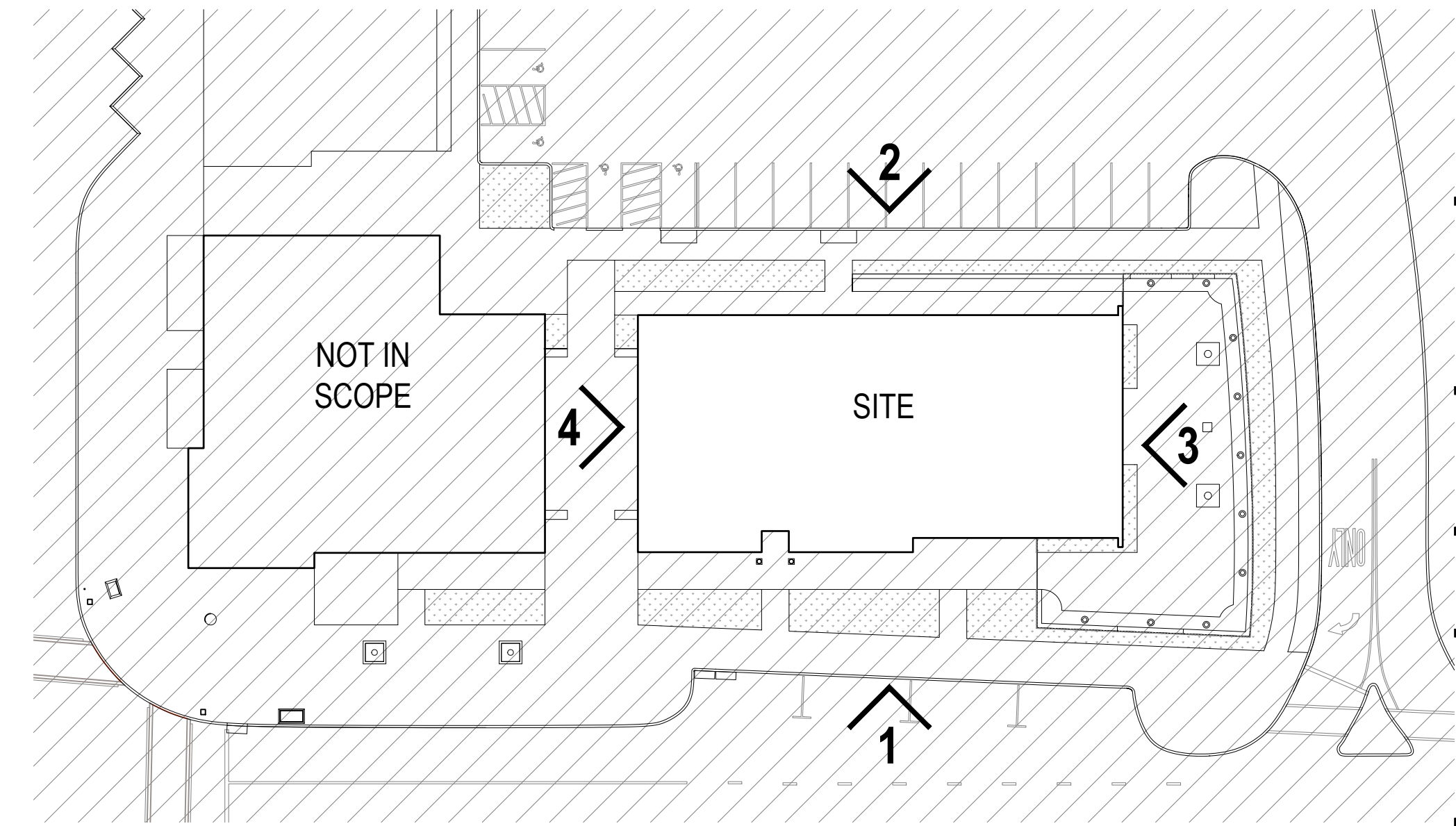
2 EXTERIOR ELEVATION - PARKING
1/8" = 1'-0"



3 EXTERIOR ELEVATION - REAR
1/8" = 1'-0"



4 EXTERIOR ELEVATION - BREEZWAY
1/8" = 1'-0"



KEY PLAN
NTS

KEYNOTES - EXTERIOR ELEVATIONS

1. (E) GLASS PANE TO BE REMOVED AND REPLACED WITH ALUMINIUM FRAME GLAZED DOOR PANEL. ALL DIMENSION AND FINISH TO MATCH ADJACENT EXIT DOORS. DOOR TO HAVE ACCESSIBLE PULL HARDWARE WITH MATCHING FINISH. VIF
2. (N) PROPOSED WALL SIGNS PER PLAINSBORO VILLAGE CENTER COMPREHENSIVE SIGN PLAN. SEE A-2.10 FOR ARTWORK, SIGN AREA, AND MOUNTING DETAILS. SIGNS PROVIDED AND INSTALLED BY OWNER SIGN VENDOR
3. (N) CANOPY SIGN PER PLAINSBORO VILLAGE CENTER COMPREHENSIVE SIGN PLAN. SEE A-2.10 FOR ARTWORK, SIGN AREA, AND MOUNTING DETAILS. SIGNS PROVIDED AND INSTALLED BY OWNER SIGN VENDOR
4. (N) OFFICE DIRECTORY SIGN TO REPLACE (E) TENANT DIRECTORY SIGN. SEE A-2.10 FOR DETAIL. SIGNS PROVIDED AND INSTALLED BY OWNER SIGN VENDOR
5. (E) DOORS AND WINDOWS TO REMAIN
6. (E) VINYL SIDING, TRIMS, AND MOLDINGS TO REMAIN
7. (E) STONE FINISH FACADE WALL AND BASE TO REMAIN
8. (E) WINDOW AND DOOR MULLIONS TO REMAIN
9. (E) WALL LIGHT SCUNCES TO REMAIN
10. (E) ADJ. FREESTANDING AND BUILDING SIGNS TO REMAIN
11. (E) GUTTERS AND DOWNSPOUTS TO REMAIN
12. (E) VENT TO REMAIN. SEE MEP FOR (N) MECH VENTS
13. (E) ROOF FINISH TO REMAIN
14. (E) CANOPY, COLUMNS, AND CROWN MOLDING TO REMAIN
15. (E) BUILDING NUMBER PLAQUE TO REMAIN
16. (E) BREEZEWAY ARCH AND STONE FINISHES TO REMAIN
17. (E) DOOR BELL INTERCOM SYSTEM TO REMAIN AND REUSED. CONFIRM WITH OWNER
18. (E) METAL SHORT FENCE TO REMAIN

**PER PLAINSBORO VILLAGE CENTER
COMPREHENSIVE SIGN PLAN**

WALL SIGNS 1 & 2
AREA: 1 SF PER 1 LF OF STOREFRONT
UP TO 24 SF MAX

AREA PROPOSED:
WALL SIGN 1: 15.33 SF
WALL SIGN 2: 2.65 SF
TOTAL AREA: 17.98 SF

MAX LENGTH: 12 FT
WALL SIGN 1: LENGTH PROPOSED: 11'-6"
WALL SIGN 2: LENGTH PROPOSED: 3'-0 3/8"

MAX LETTER SIZE: 16" 1 LINE OF TEXT
WALL SIGN 1 LETTER SIZE PROPOSED: 16"
WALL SIGN 2 LETTER SIZE PROPOSED: 8"

MIN SIGN HT: 8'-0" ABOVE SIDEWALK
MAX SIGN HT: 14'-0" ABOVE SIDEWALK

WALL SIGN 1
SIGN HT PROPOSED: 13'-0"

WALL SIGN 2
SIGN HT PROPOSED: 12'-5"

CANOPY SIGN
MAX AREA: 3 SF
AREA PROPOSED: 2.14 SF

MAX LENGTH: 6 FT
MAX LENGTH PROPOSED: 2'-5 3/8"

MAX LETTER SIZE: 8"
MAX LETTER SIZE PROPOSED: 8"

MIN SIGN HT: 8'-0" ABOVE SIDEWALK
SIGN HT PROPOSED: 8'-0" ABOVE SIDEWALK

OFFICE DIRECTORY SIGN (1 PROPOSED)
MAX AREA: 6 SF
AREA PROPOSED: 2 SF

MAX LETTER SIZE: 2"
LETTER SIZE PROPOSED: 2"

MAX HT ABOVE SIDEWALK: 6 FT

DIGITAL STAMP
BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585.490.6941

ALL CONCEPTS AND ILLUSTRATIONS SUBMITTED ON THIS SHEET ARE THE INTELLECTUAL PROPERTY OF BLD INC. ANY REPRODUCTION, DISTRIBUTION, OR PUBLIC DISPLAY WITHOUT THE WRITTEN CONSENT OF THE OWNER OF BLD INC. IS STRICTLY FORBIDDEN. UNAUTHORIZED USE OF THESE PLANS, EXCEPT FOR THE INTENDED PROJECT AND DESIGNATED LOCATION, IS NOT ALLOWED.

CONSULTANTS
PROJECT NAME

OM LIFE LIVING

PROJECT ADDRESS
5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536
APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUE FOR
PLAN CHECK 10/07/2024

DRAWN BY: BL CHECKED BY: BL

DATE: 09/20/2024

SIGNAGE DETAIL

A-2.10



+/- 12'-6" TOP OF
ADJACENT LOGO VIF
0'-0" SIDE WALK LEVEL

3 EXISTING PHOTO OF STREETFRONT
NA

IN PROGRESS

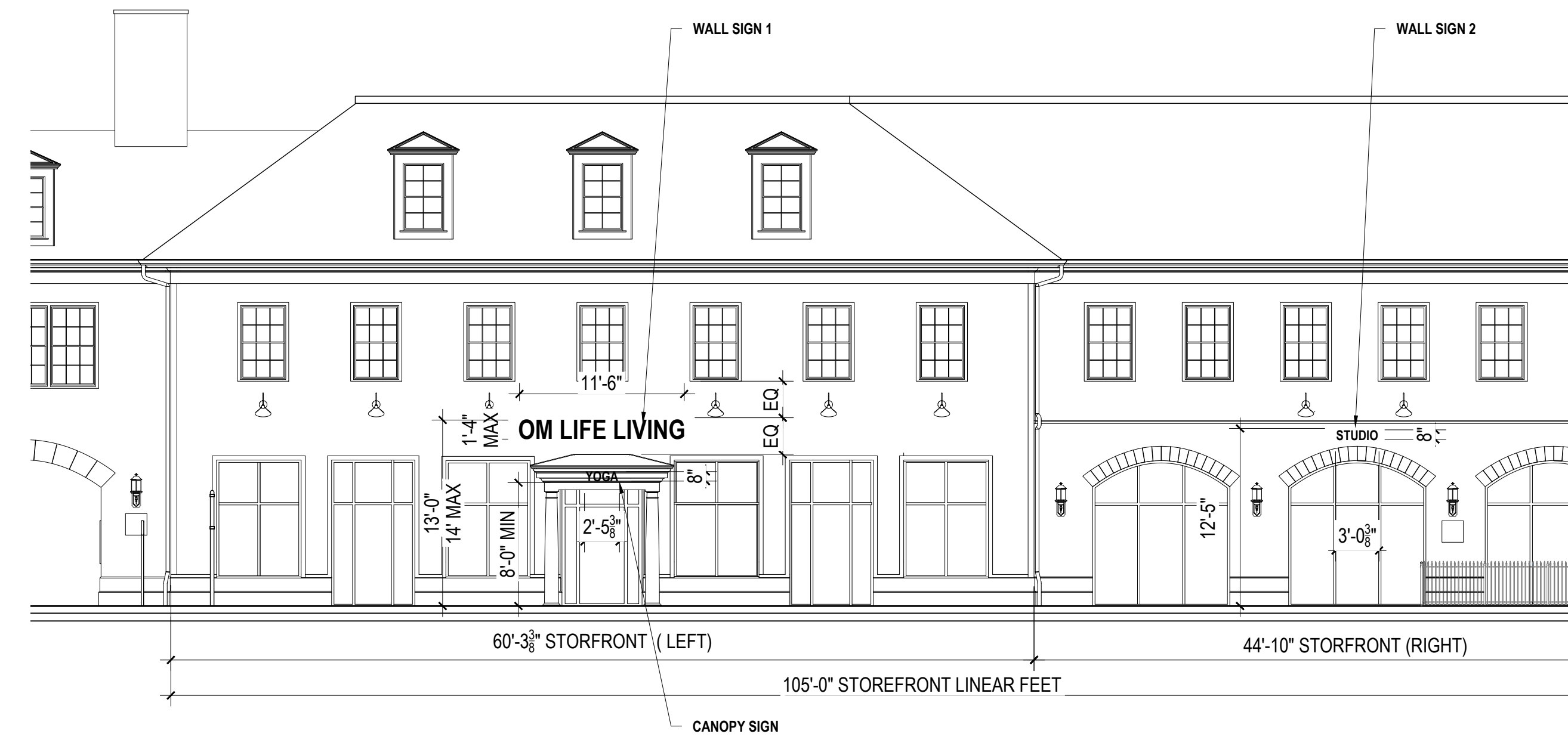
4 WALL SIGN 1 ARTWORK
NA

IN PROGRESS

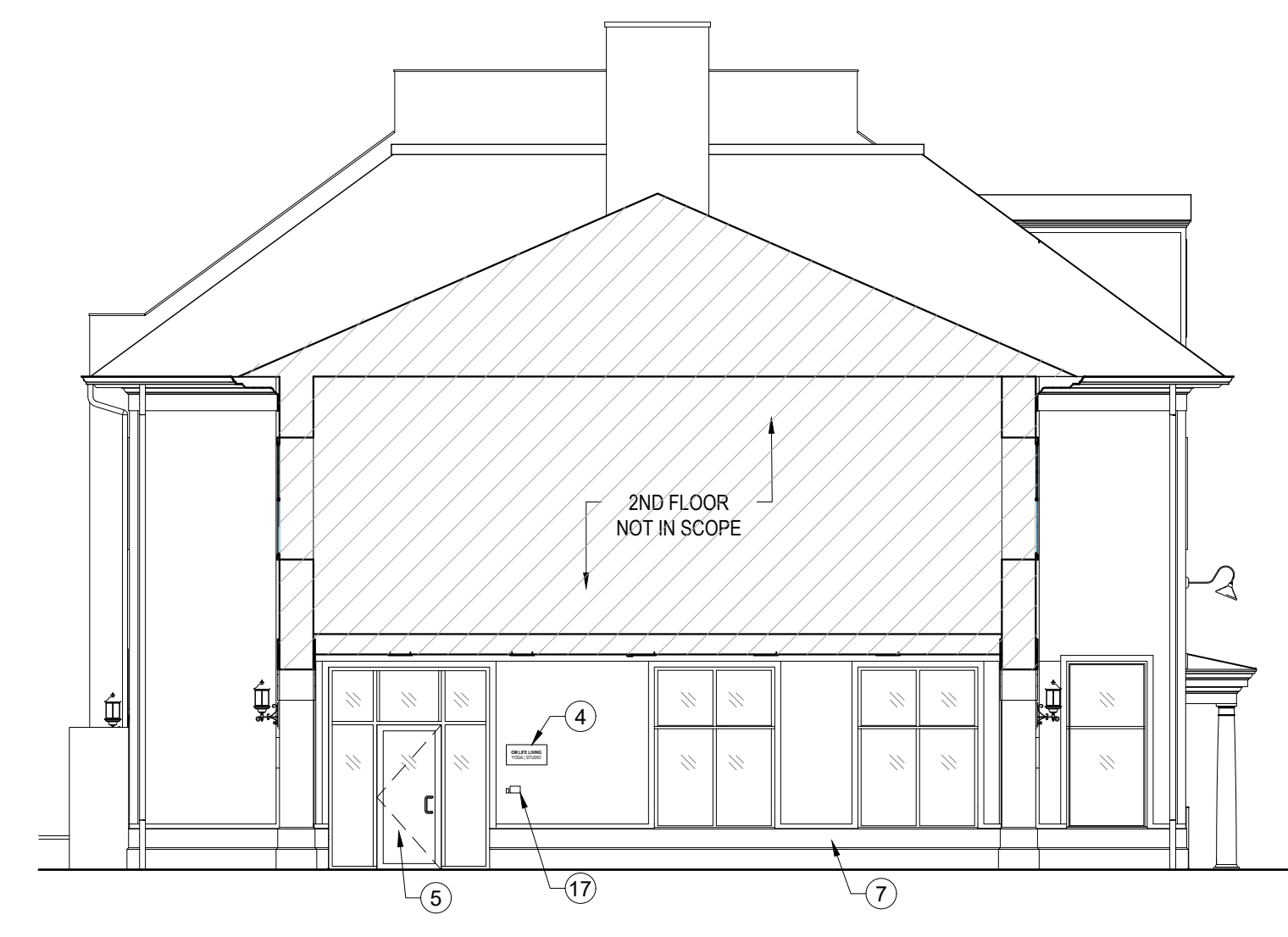
5 WALL SIGN 2 ARTWORK
NA

IN PROGRESS

6 CANOPY SIGN ARTWORK
NTS

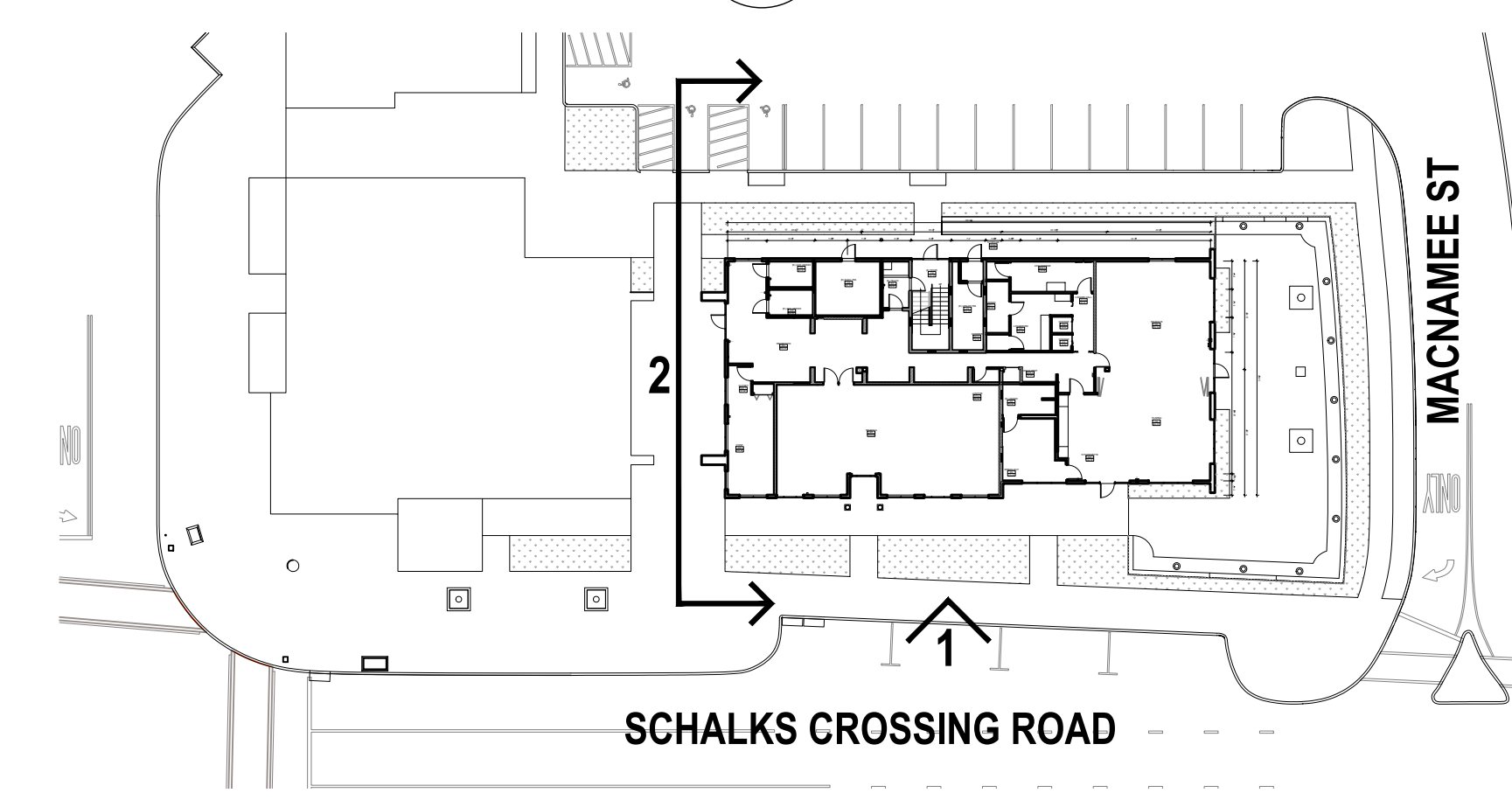


1 EXTERIOR ELEVATION - STREET
1/8" = 1'-0"



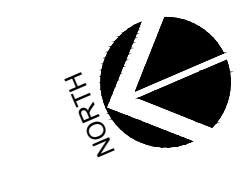
2 EXTERIOR ELEVATION - BREEZWAY
1/8" = 1'-0"

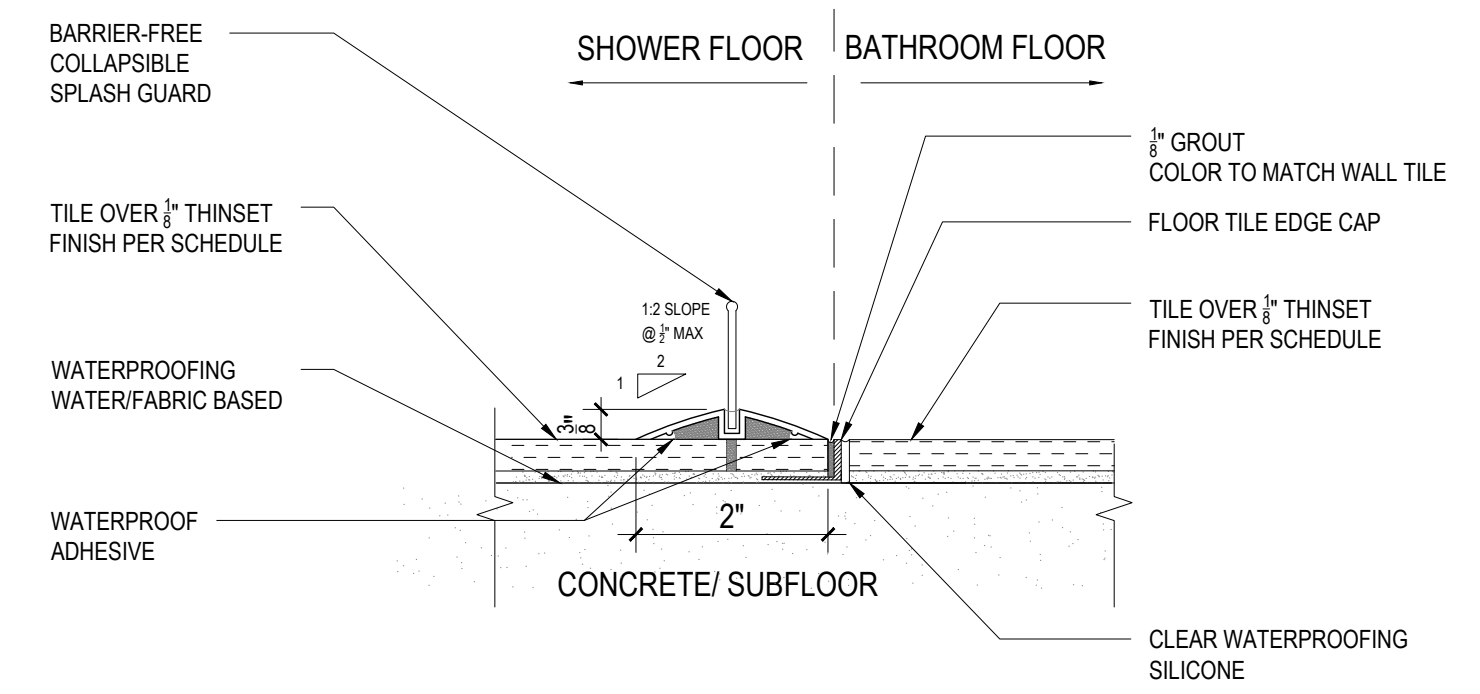
IN PROGRESS



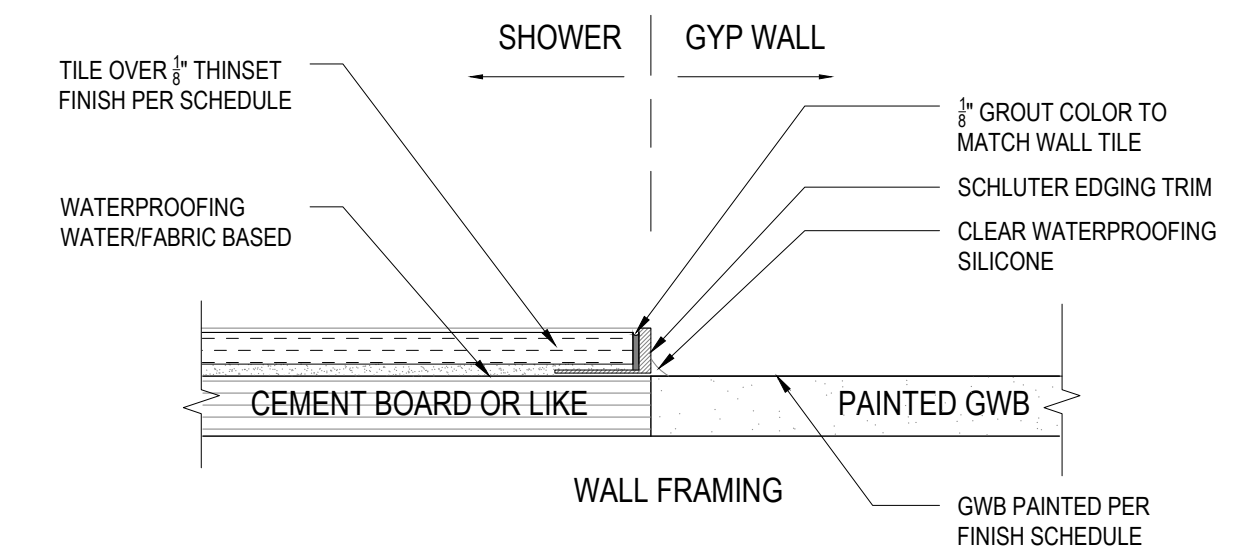
KEY PLAN
NTS

7 SIGNAGE ATTACHMENT DETAIL
NTS

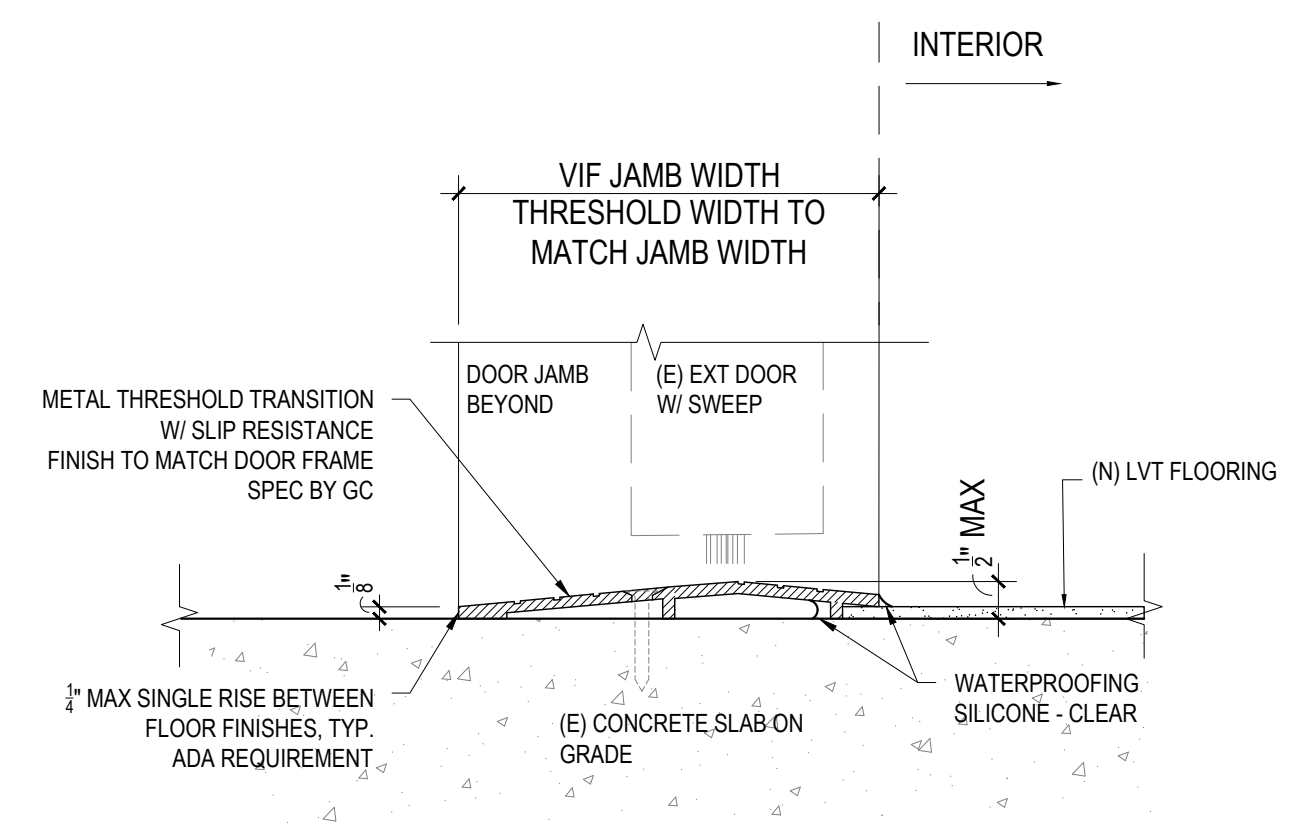




3 SHOWER FLOOR TRANSITION
6" = 1'-0"



2 SHOWER WALL TILE TRANSITION
6" = 1'-0"



1 FLOOR TRANSITION FROM EXTERIOR TO LVT
6" = 1'-0"

DIGITAL STAMP

BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585-490-6941

ALL COPYRIGHT AND ILLUSTRATION RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE OWNER. BLD INC. IS STRICTLY FORBIDDEN FROM REPRODUCING OR TRANSMITTING THIS DOCUMENT FOR ANY PURPOSES OTHER THAN THE DESIGNATED LOCATION. IF NOT ALLOWED.

CONSULTANTS

PROJECT NAME

OM LIFE LIVING

PROJECT ADDRESS
5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536

APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUE FOR PLAN CHECK 10/07/2024

DRAWN BY: BL CHECKED BY: BL

DATE: 09/20/2024

TYPICAL FINISH DETAILS

A-4.00

DIGITAL STAMP

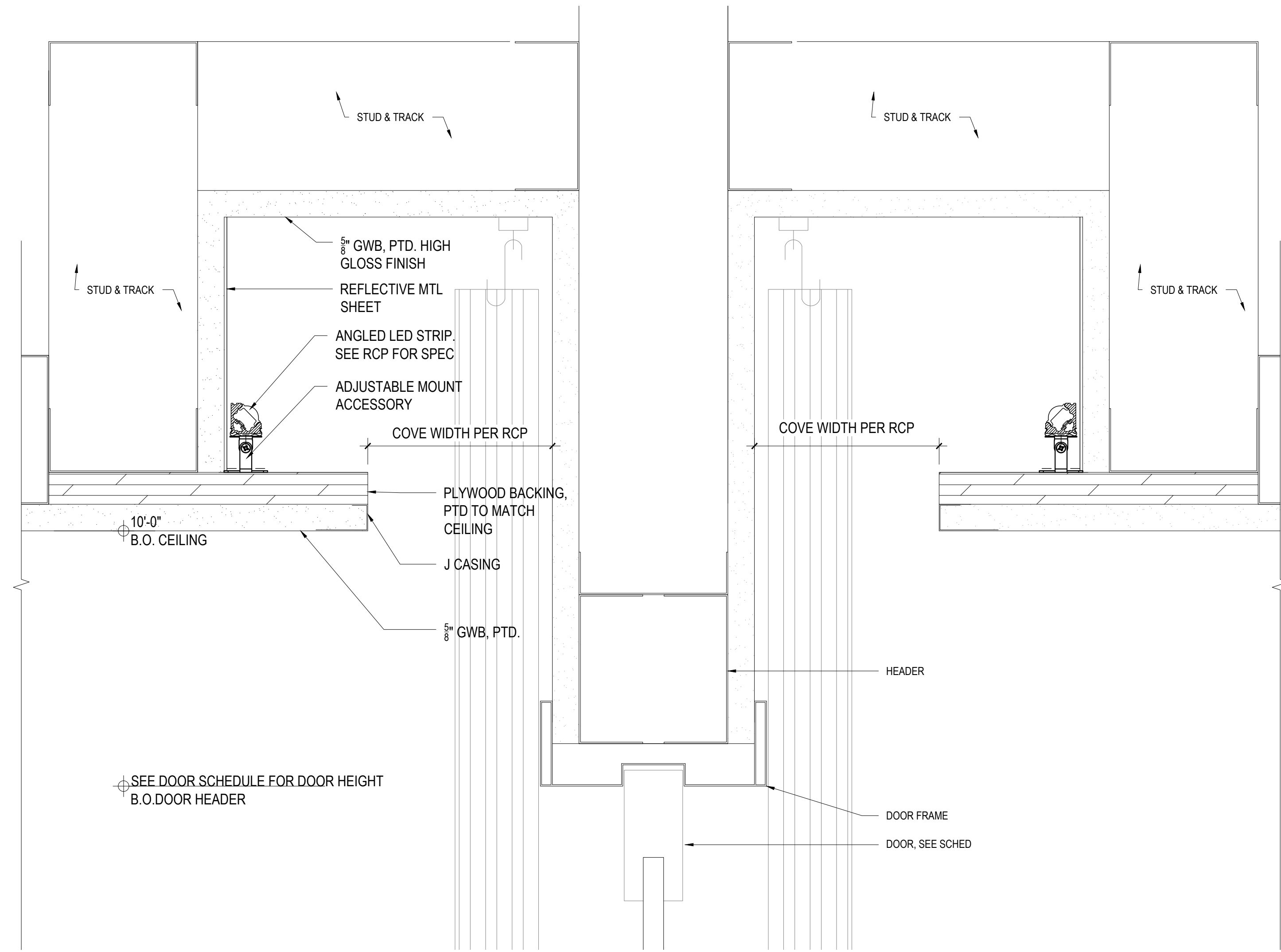
BENJAMIN LIN
RA, NCIDQ, LEED AP ID+C
WWW.BLD-INFO.COM
BEN@BLD-INFO.COM
585-490-6941

ALL CONCEPTS AND ILLUSTRATIONS SHOWN ON THIS SHEET ARE THE INTELLECTUAL PROPERTY OF BLD INC. ANY REPRODUCTION, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE OWNER OF BLD INC. IS STRICTLY FORBIDDEN. UNAUTHORIZED USE OF THESE PLANS, SPECIFICATIONS, OR ILLUSTRATIONS IN ANY DESIGNATED LOCATION IS NOT ALLOWED.

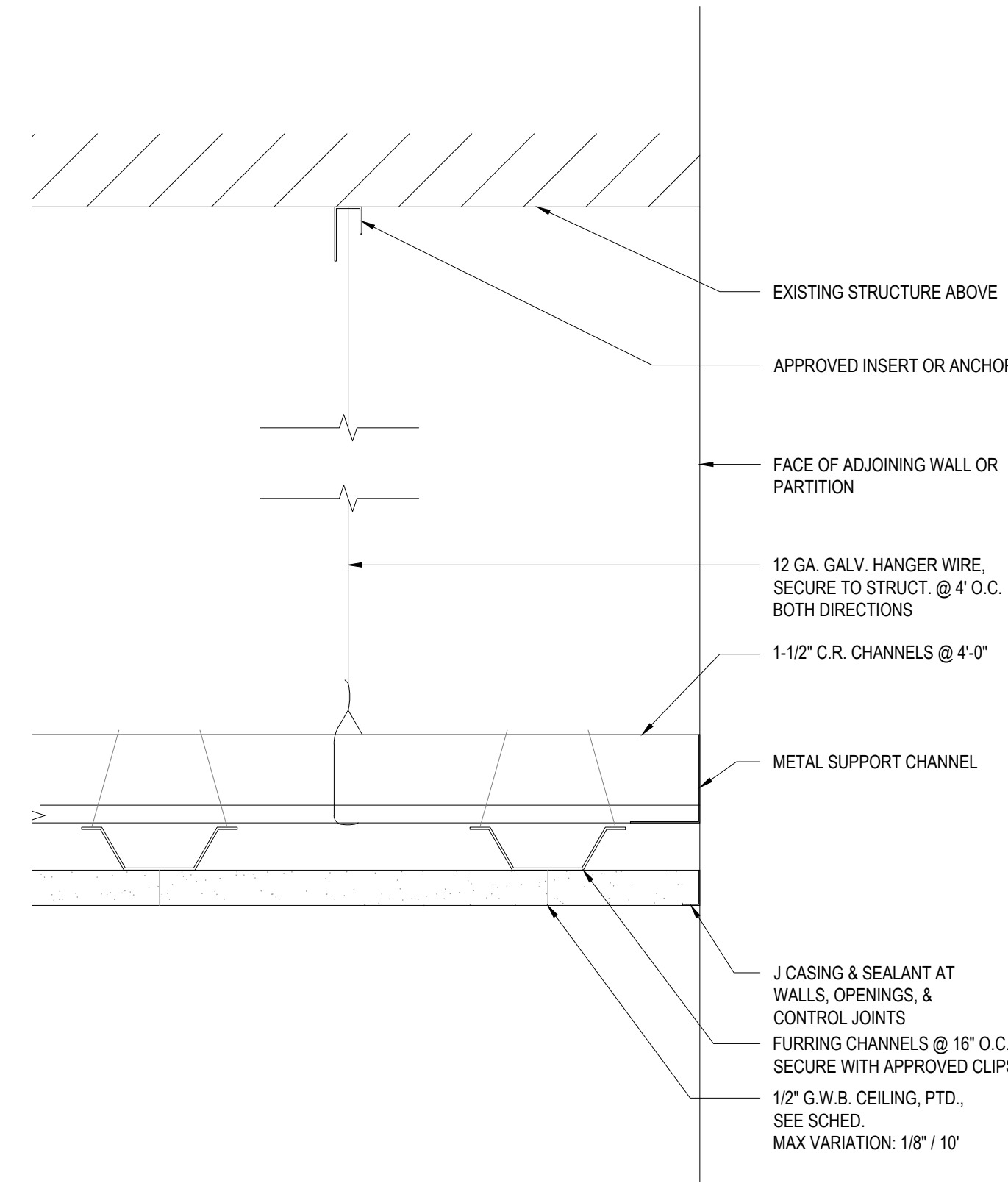
CONSULTANTS

PROJECT NAME

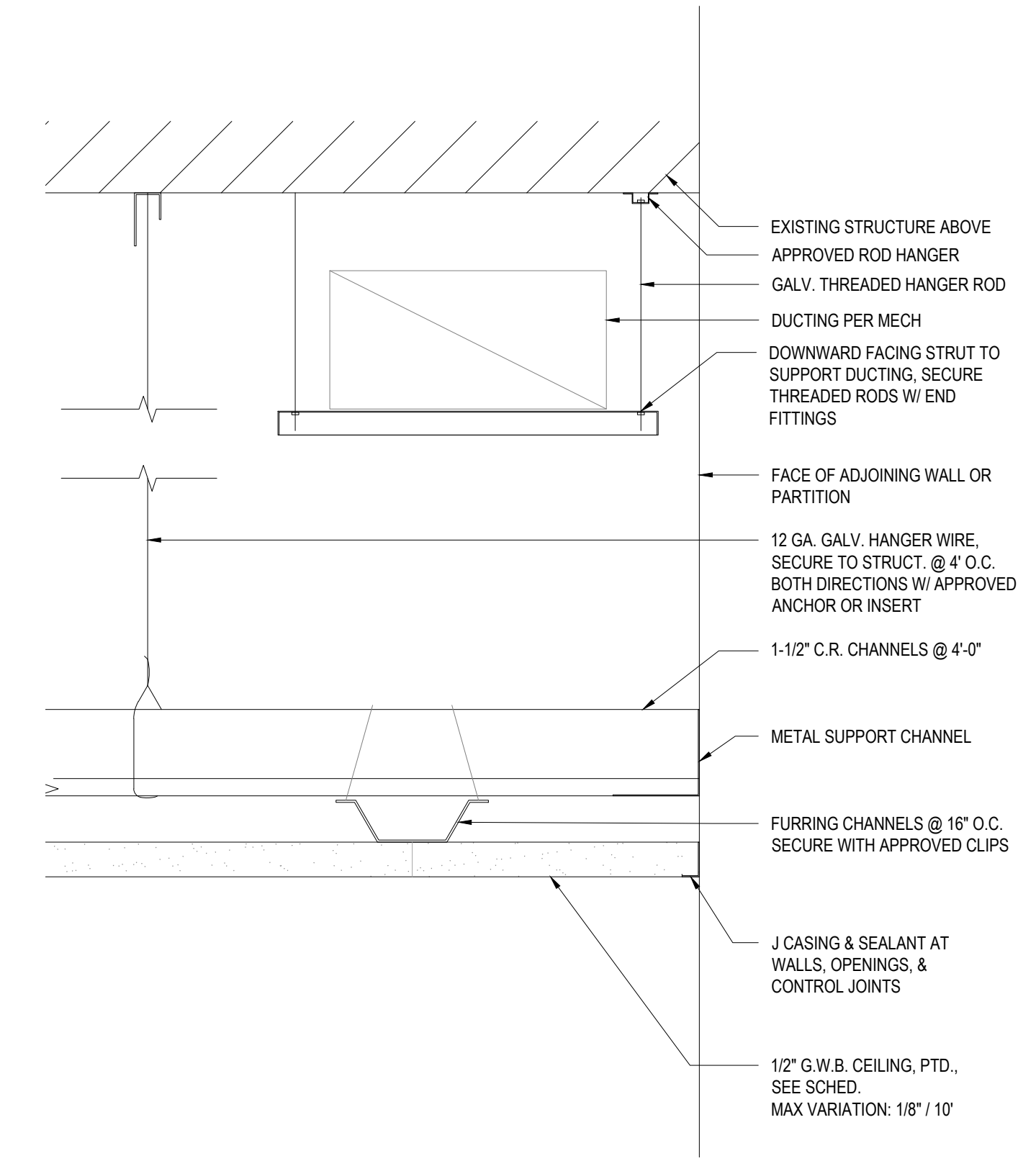
OM LIFE LIVING



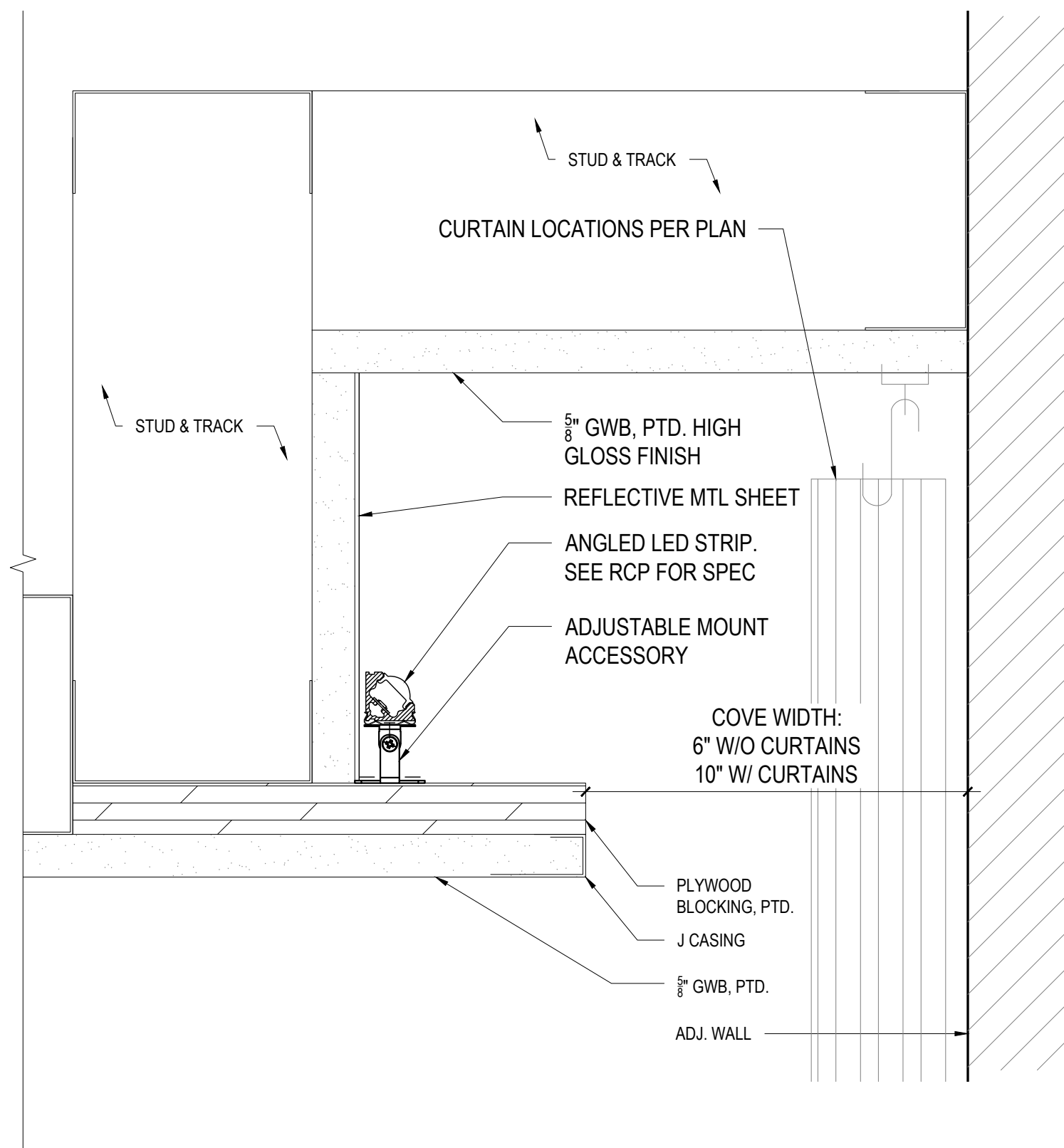
6 LIGHT COVE W/ DOOR HEADER
6" = 1'-0"



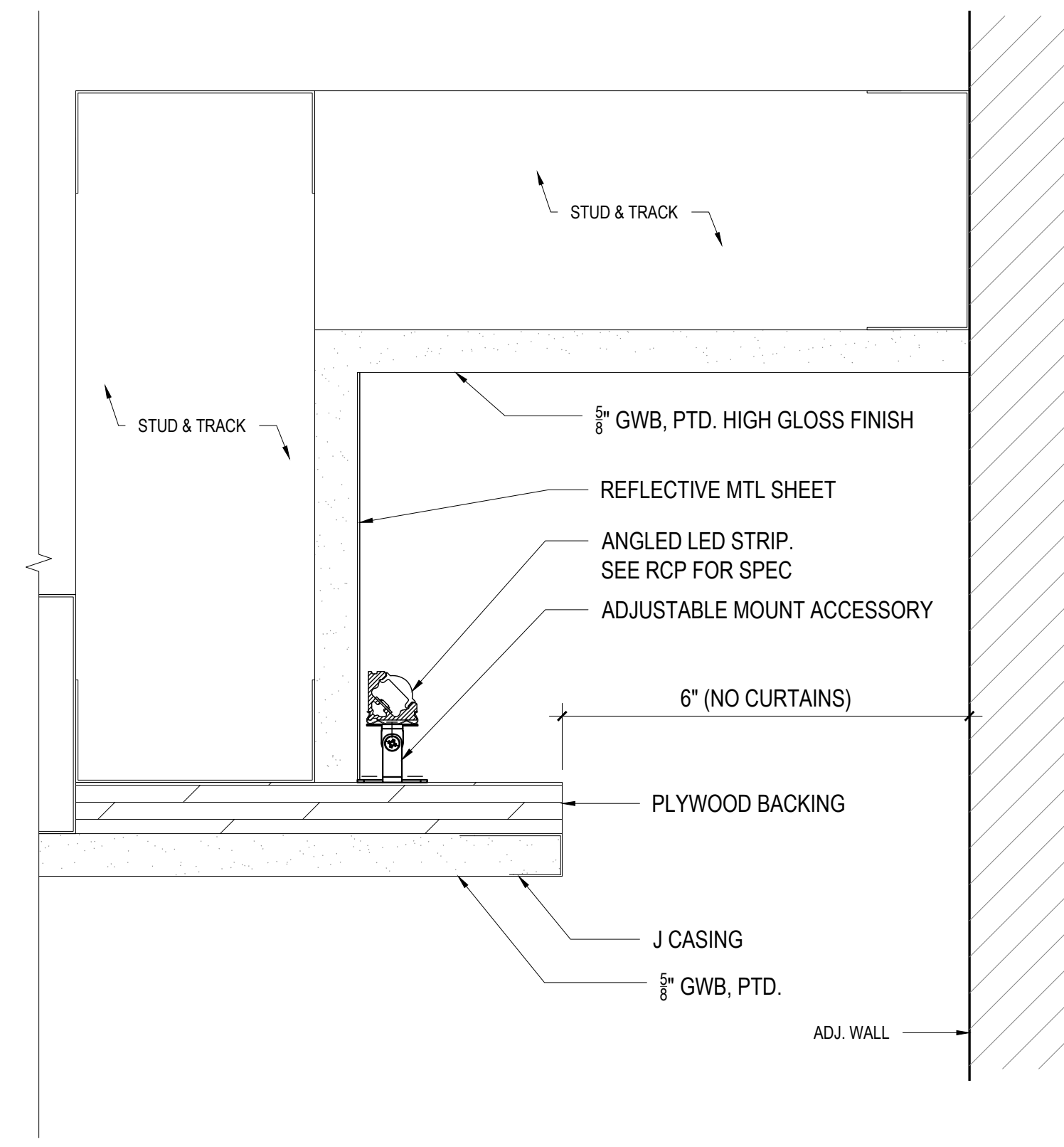
4 G.W.B CEILING ASSEMBLY
6" = 1'-0"



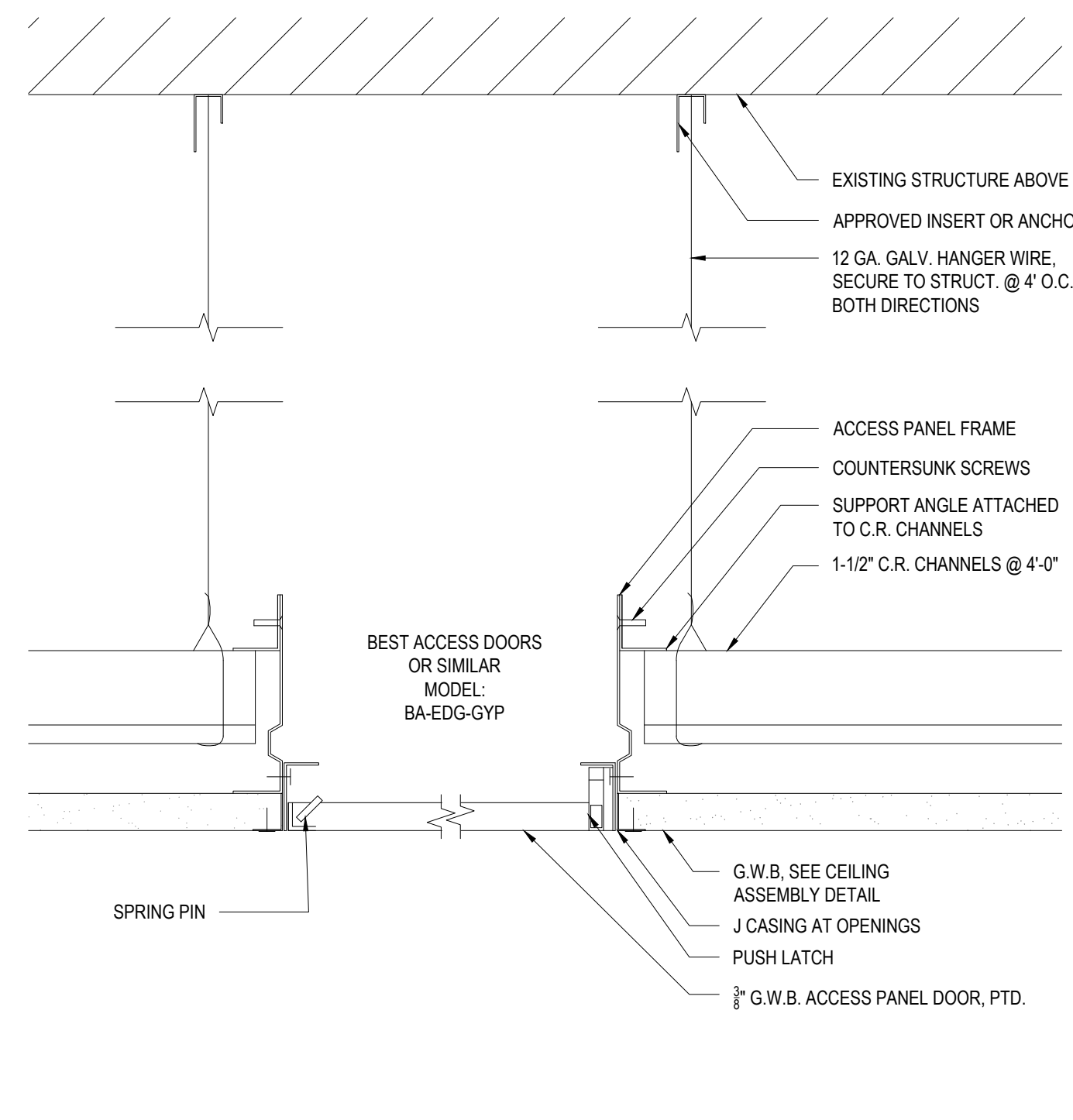
2 G.W.B CEILING ASSEMBLY W/ HVAC DUCTING
6" = 1'-0"



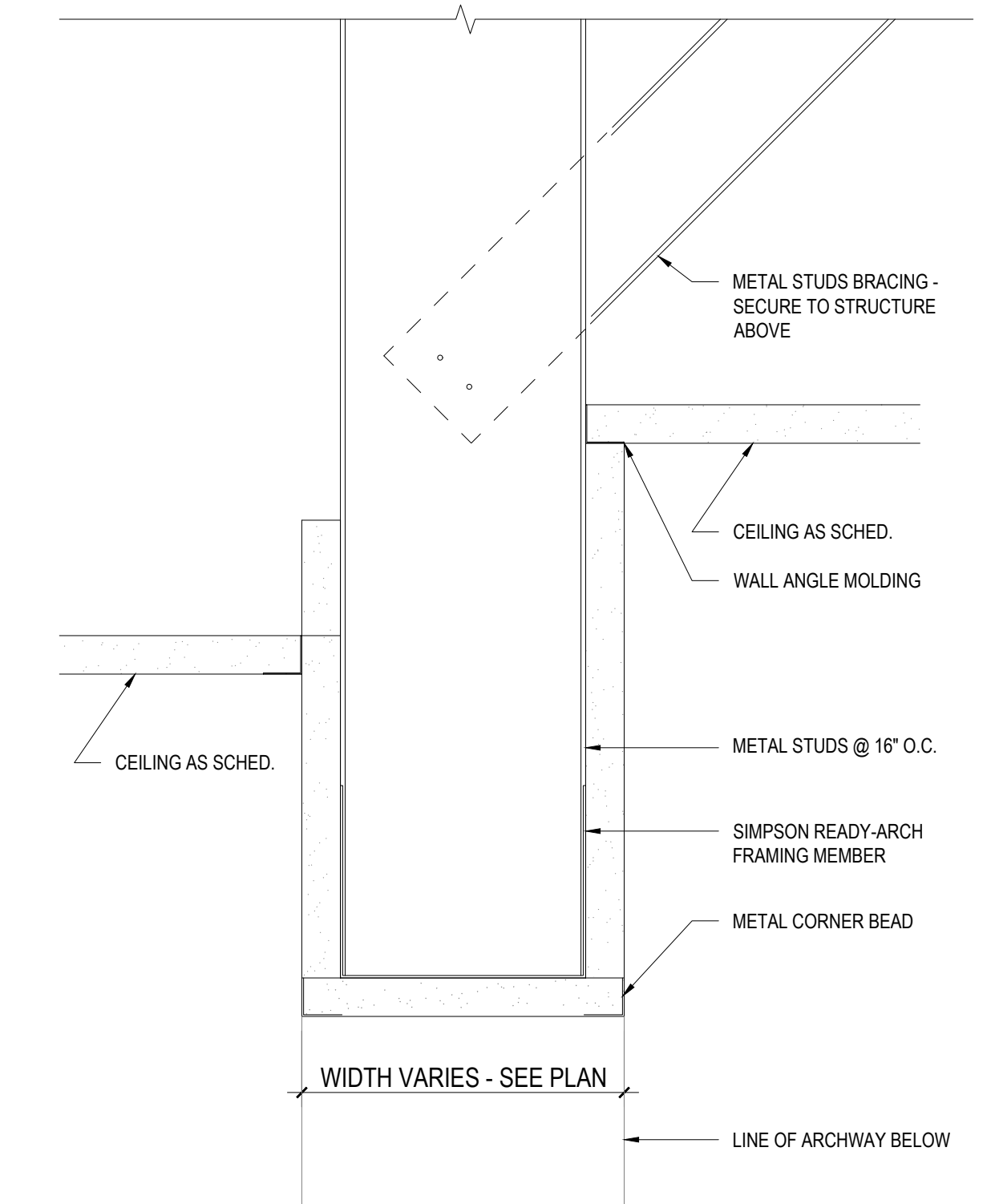
6 LIGHT COVE W/ CURTAINS
6" = 1'-0"



5 LIGHT COVE
6" = 1'-0"



3 G.W.B CEILING ACCESS PANEL
6" = 1'-0"



1 G.W.B SOFFIT @ ARCHWAY
6" = 1'-0"

PROJECT ADDRESS
5 SCHALKS CROSSING RD SUITE 210,
PLAINSBORO TOWNSHIP, NJ 08536

APN:
18-01404-0000-00043-0000-C202

REVISION

ISSUE FOR
PLAN CHECK 10/07/2024

DRAWN BY: BL CHECKED BY: BL

DATE: 09/20/2024

TYPICAL
CONSTRUCTION
DETAILS

A-4.10